

**REGULAR MEETING OF THE CITY COUNCIL
OF THE CITY OF EAST RIDGE**

**AGENDA
April 24, 2025
6:00 pm**

1. Call to Order

2. Invocation

3. A. Roll Call

4. Consent Agenda

A. Approval of Minutes April 10, 2025 Council Meeting

5. Communication from Citizens

6. Communication from Councilmembers

7. Communication from City Manager

8. Old Business

NONE

9. New Business

A. **ORDINANCE NO. 1217** – AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF EAST RIDGE, TENNESSEE, TO AMEND TITLE 14, ZONING AND LAND USE CONTROL, CHAPTER 3, SECTION 301, REGARDING THE EAST RIDGE BOARD OF ZONING APPEALS

B. **ORDINANCE NO. 1218** – AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF EAST RIDGE, TENNESSEE, TO AMEND TITLE 13, PROPERTY MAINTENANCE REGULATIONS, CHAPTER 3, SECTION 303, REGARDING THE EAST RIDGE HOUSING COMMISSION

C. **ORDINANCE NO. 1219** – AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF EAST RIDGE, TENNESSEE, TO AMEND TITLE 2, BOARDS AND COMMISSIONS, CHAPTER 2, SECTION 101, REGARDING THE EAST RIDGE LIBRARY BOARD

D. **RESOLUTION NO. 3676** – A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF EAST RIDGE, TENNESSEE, TO APPROVE A VARIANCE TO THE CITY’S SIGN ORDINANCE NO. 1028 FOR THE PROPERTY LOCATED AT 6521 RINGGOLD ROAD, TAX MAP # 169L-L-004.01

E. **RESOLUTION NO. 3677** – A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF EAST RIDGE, TENNESSEE, APPROVING A REQUEST TO OPERATE A MEDICAL CLINIC AT THE PROPERTY LOCATED AT 842 SOUTH GERMANTOWN ROAD, LOCATED WITHIN THE R-1 RESIDENTIAL DISTRICT

- F. **RESOLUTION NO. 3678** – A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF EAST RIDGE, TENNESSEE, APPROVING THE PROPOSAL FOR THE OPERATION OF FOOD AND REFRESHMENT CONCESSIONS FOR THE EAST RIDGE PARKS AND RECREATION DEPARTMENT
- G. **RESOLUTION NO. 3679** – A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF EAST RIDGE, TENNESSEE, AUTHORIZING THE CITY MANAGER TO APPROVE CHANGE ORDER REQUEST NO. 1 FROM INPUT GROUP FOR THE SOUND ATTENUATION SYSTEM AT THE EAST RIDGE ANIMAL SHELTER
- H. **RESOLUTION NO. 3680** – A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF EAST RIDGE, TENNESSEE, AUTHORIZING THE CITY MANAGER TO APPROVE CHANGE ORDER REQUEST NO. 2 AND CHANGE ORDER REQUEST NO. 3 FOR THE NORTH MACK SMITH ROAD WIDENING AND IMPROVEMENTS PROJECT FOR NECESSARY MODIFICATIONS TO THE DRAINAGE SYSTEM
- I. Discussion of Chattanooga Area Regional Transportation Authority (CARTA) Care-A-Van service
- J. Discussion of Tentative Agenda for the **May 8, 2025** City Council Meeting (see Attachment A)

10. Adjournment

ATTACHMENT A
TENTATIVE AGENDA
May 8, 2025

8. Old Business

NONE

9. New Business

A. **RESOLUTION NO. _____** - Authorization to accept the Homeland Security Grant for the East Ridge Fire Department

B. Presentation of FY2025-2026 Operating Budget

**REGULAR MEETING OF THE CITY COUNCIL
OF THE CITY OF EAST RIDGE**

**April 10, 2025
6:00 pm**

The East Ridge City Council met pursuant to the meeting notice on April 10, 2025, at 6:00 p.m. in the East Ridge City Hall Council Chambers. Mayor Williams called the meeting to order.

City Attorney Mark Litchford gave the invocation. All joined in for the Pledge of Allegiance.

Present: Mayor Brian Williams, Vice Mayor David Tyler, Councilmember Jacky Cagle, Councilmember Jeff Ezell, Councilmember Andrea Witt, City Manager Scott Miller, City Attorney Mark Litchford, Finance Director Diane Qualls, and City Clerk Jennifer Deitrick

Attendance: Eleven

Milestone Award: Robert Landrum, 5 years

Consent Agenda:

- A. Approval of Minutes from March 27, 2025 Council Meeting
- B. Approval of February 2025 Financial Report

It was moved by Vice Mayor Tyler and seconded by Councilmember Witt to approve the Consent Agenda.

There being no discussion, Mayor Williams asked for a roll call vote. Vice Mayor Tyler – yes, Councilmember Cagle – yes, Councilmember Ezell – yes, Councilmember Witt – yes, Mayor Williams – yes. Motion carried unanimously.

Communication from Citizens:

Lisa Thompson, 620 S Sanctuary Road, Chattanooga, TN 37412 – expressed a commitment to helping in any way to advance the question of relocating the dog park.

Communication from Councilmembers:

Councilmember Cagle – Nothing at this time.

Vice Mayor Tyler asked if City Manager Miller was able to get in contact with the owner of the cell tower on Blackhawk Trail. City Manager Miller stated he was able to make contact and informed them that the cell tower has been vandalized.

Councilmember Ezell – Nothing at this time.

Councilmember Witt – Nothing at this time.

Mayor Williams reported the upcoming Parks and Recreation and Library events and programs and reported that East Ridge Middle School sent a thank you letter for the \$500.00 donation.

Communication from City Manager:

- N Mack Smith Road widening started on the east side of the north end with the installation and construction of a head wall and a 24” storm drainage system to eventually tie into Ringgold Road.
- The east wall of Venue 1921 at East Ridge is complete; currently working on the west wall.
- All paperwork for the Community Center expansion project has been submitted to the state for the LPRF grant. Waiting for approval and notice to proceed.

Old Business:**Discussion of City Charter Review Commission**

City Attorney Litchford reported contacting the Election Commission and obtaining ballots related to charter amendments from 2008 forward. City Attorney Litchford also reviewed records from the Municipal Technical Advisory Service (MTAS) and reported that MTAS provides a free service to review city charters.

It was moved by Councilmember Cagle and seconded by Councilmember Ezell to authorize City Manager Miller to work with MTAS to review the City’s charter and report the findings back to the Council.

Following further discussion, Mayor Williams asked for a roll call vote. Vice Mayor Tyler – yes, Councilmember Cagle – yes, Councilmember Ezell – yes, Councilmember Witt – yes, Mayor Williams – yes. Motion carried unanimously.

New Business:**RESOLUTION NO. 3671 - A RESOLUTION OF THE EAST RIDGE CITY COUNCIL APPROVING AN APPOINTMENT BY COUNCILMEMBER JACKY CAGLE TO THE EAST RIDGE BOARD OF ZONING APPEALS**

City Attorney Litchford read the resolution by caption.

It was moved by Councilmember Cagle and seconded by Councilmember Witt to appoint Regina Parris to the East Ridge Board of Zoning Appeals.

Following discussion, Mayor Williams asked for a roll call vote. Vice Mayor Tyler – yes, Councilmember Cagle – yes, Councilmember Ezell – yes, Councilmember Witt – yes, Mayor Williams – yes. Motion carried unanimously.

RESOLUTION NO. 3672 - A RESOLUTION OF THE EAST RIDGE CITY COUNCIL APPROVING AN APPOINTMENT BY VICE MAYOR DAVID TYLER TO THE EAST RIDGE BOARD OF ZONING APPEALS

City Attorney Litchford read the resolution by caption.

It was moved by Vice Mayor Tyler and seconded by Councilmember Witt to appoint Tyler Buck to the East Ridge Board of Zoning Appeals.

There being no further discussion, Mayor Williams asked for a roll call vote. Vice Mayor Tyler – yes, Councilmember Cagle – yes, Councilmember Ezell – yes, Councilmember Witt – yes, Mayor Williams – yes. Motion carried unanimously.

RESOLUTION NO. 3673 - A RESOLUTION OF THE EAST RIDGE CITY COUNCIL AMENDING RESOLUTION NO. 3658 TO REFLECT A CORRECTED TERM END DATE FOR THE COUNCIL APPOINTMENT TO FILL AN UNEXPIRED TERM ON THE EAST RIDGE INDUSTRIAL DEVELOPMENT BOARD

City Attorney Litchford read the resolution by caption.

It was moved by Vice Mayor Tyler and seconded by Councilmember Ezell to approve Resolution No. 3673.

There being no further discussion, Mayor Williams asked for a roll call vote. Vice Mayor Tyler – yes, Councilmember Cagle – yes, Councilmember Ezell – yes, Councilmember Witt – yes, Mayor Williams – yes. Motion carried unanimously.

RESOLUTION NO. 3674 – A RESOLUTION OF THE EAST RIDGE CITY COUNCIL TO APPROVE BIDS FOR THE RENOVATION OF THE RESTROOMS WITHIN CAMP JORDAN ARENA

City Attorney Litchford read the resolution by caption.

Parks and Recreation Director Skiles is requesting the Council approve the bid submitted by Integrated Builds, LLC for the renovation of the restrooms within Camp Jordan Arena.

It was moved by Councilmember Witt and seconded by Vice Mayor Tyler to approve the bid submitted by Integrated Builds, LLC.

Following further discussion, Mayor Williams asked for a roll call vote. Vice Mayor Tyler – yes, Councilmember Cagle – yes, Councilmember Ezell – yes, Councilmember Witt – yes, Mayor Williams – yes. Motion carried unanimously.

RESOLUTION NO. 3675 – A RESOLUTION OF THE EAST RIDGE CITY COUNCIL AMENDING RESOLUTION NO. 3657 TO CORRECT THE PROCESS FOR APPOINTING COUNCILMEMBER ANDREA WITT’S NOMINATION OF JAMES MEYERS TO FILL AN UNEXPIRED TERM TO THE EAST RIDGE HOUSING COMMISSION

City Attorney Litchford read the resolution by caption.

It was moved by Councilmember Witt and seconded by Vice Mayor Tyler to amend the nomination of James Meyers to fill an unexpired term to the East Ridge Housing Commission

.

Following further discussion, Mayor Williams asked for a roll call vote. Vice Mayor Tyler – yes, Councilmember Cagle – yes, Councilmember Ezell – yes, Councilmember Witt – yes, Mayor Williams – yes. Motion carried unanimously.

Discussion of Tentative Agenda Items for the April 24, 2025 City Council Meeting
(see Attachment A)

Old Business:

NONE

New Business:

RESOLUTION NO. _____ - Variance to the City’s sign ordinance to install two signs at the proposed Whataburger location at 6521 Ringgold Road

Chief Building Official Michael Howell reported that the request is seeking approval for a 90-foot-high pylon sign with two sign faces, 363 square feet in size, and a 12-foot-high monument sign with two sign faces, 66 square feet in size. Sign Ordinance 1028 allows for one detached on-premises sign per lot, which may be in the form of a ground or monument sign. Each sign face is limited to 50 square feet, and a maximum height of 9 feet.

RESOLUTION NO. _____ - Use on review for approval to operate a medical clinic at 842 S Germantown Road

Chief Building Official Michael Howell reported that this request is to operate a medical clinic in the R-1 Residential District. Use of a medical clinic is permitted on review in this district, allowing professional medical and dental services, as well as clinics. The property is adjacent to both commercial and residential areas.

Any Other Business

City Manager Miller sent Council a summary of the recent meeting with CARTA and requested that a related item be added to the agenda for the April 24, 2025 City Council Meeting.

Adjournment

There being no further business, the April 10, 2025 Regular Meeting of the City Council of the City of East Ridge was adjourned at 6:55 p.m.

APPROVED:

MAYOR

CITY CLERK

ORDINANCE NO. 1217



BRIAN WILLIAMS
Mayor

JACKY CAGLE
Councilmember

ANDREA WITT
Councilmember

DAVID TYLER
Vice Mayor

JEFFREY EZEL
Councilmember

J. SCOTT MILLER
City Manager

City of East Ridge

*1517 Tombras Avenue
East Ridge, Tennessee 37412
(423) 867-7711*

MEMORANDUM

TO: City Council

FROM: Mark Litchford, City Attorney

DATE: April 21, 2025

RE: Amending Title 14, Chapter 3, Section 301 – Board of Zoning Appeals Appointments

At the last City Council meeting on April 10, 2025, I was tasked with preparing an ordinance amending Title 14, Chapter 3, Section 301 relative to board of zoning appeal appointments to effectuate the following: having each councilmember the opportunity to appoint one member to said board. The attached draft ordinance accomplishes this directive.

As an additional note, there are some jurisdictions that have criteria/qualifications for board seats relative to boards that have zoning jurisdictions such as variances, waivers, historical preservation, set-back, etc. authority. I spoke with some additional municipal attorneys who advised that their municipalities have had positive impacts on land-use boards which required certain qualifications (i.e. construction board for Signal Mountain 2-502; strategic planning commission for Red Bank 2-101; Maryville Design Review Board 14-203; Maryville historic zoning commission 14-301). If it is the will of the council to incorporate certain qualifications, please let me know and I will redraft this ordinance.

ORDINANCE NO. 1217

**AN ORDINANCE OF THE CITY COUNCIL
OF THE CITY OF EAST RIDGE,
TENNESSEE, TO AMEND TITLE 14,
ZONING AND LAND USE CONTROL,
CHAPTER 3, SECTION 301, REGARDING
THE EAST RIDGE BOARD OF ZONING
APPEALS**

WHEREAS, the East Ridge City Council has created a Board of Zoning Appeals codified in Title 14, Chapter 3, Section 301 of the East Ridge City Code; and

WHEREAS, pursuant to Section 301, the board consists of five (5) residents of the City to be appointed by the City Council; and

WHEREAS, the City Council deems it desirable to amend Section 301 by incorporating a provision that allows each councilmember to have one (1) appointment to said board; and

WHEREAS, the City Council deems it in the best interest of the City to amend Title 14, Chapter 3, Section 301 as set forth herein.

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF EAST RIDGE, TENNESSEE, that Title 14, Chapter 3, Section 301 of the East Ridge City Code is hereby amended as follows:

SECTION 1. Title 14, Chapter 3, Section 301 is hereby amended by adding “*with each councilmember having one (1) appointment to said board*” at the end of the first sentence such that the first sentence in Title 14, Chapter 3, Section 301 reads as follows in its entirety:

There is hereby created and established a board of zoning appeals, to consist of five (5) residents of the city, to be appointed by the city council with each councilmember having one (1) appointment to said board.

SECTION 2. **BE IT FURTHER ORDAINED** that all other parts to Title 14, Chapter 3, Section 301 shall remain unchanged.

SECTION 3. **BE IT FURTHER ORDAINED** that this Ordinance shall take effect immediately as provided by law, the public welfare of the City requiring it.

PASSED on First Reading _____, 2025.

PASSED on Second Reading _____, 2025.

Brian W. Williams, Mayor

ATTEST:

J. Scott Miller, City Manager

APPROVED AS TO FORM:

Mark W. Litchford, City Attorney

ORDINANCE NO. 1218



BRIAN WILLIAMS
Mayor

JACKY CAGLE
Councilmember

ANDREA WITT
Councilmember

DAVID TYLER
Vice Mayor

JEFFREY EZEL
Councilmember

J. SCOTT MILLER
City Manager

City of East Ridge

*1517 Tombras Avenue
East Ridge, Tennessee 37412
(423) 867~7711*

MEMORANDUM

TO: City Council

FROM: Mark Litchford, City Attorney

DATE: April 21, 2025

RE: Amending Title 13, Chapter 3, Section 303 – Housing Commission Appointments

At the last City Council meeting on April 10, 2025, I was tasked with preparing an ordinance amending Title 13, Chapter 3, Section 303 relative to housing commission appointments to effectuate the following: having each councilmember the opportunity to appoint one member to said commission. The attached draft ordinance accomplishes this directive.

ORDINANCE NO. 1218

**AN ORDINANCE OF THE CITY COUNCIL
OF THE CITY OF EAST RIDGE,
TENNESSEE, TO AMEND TITLE 13,
PROPERTY MAINTENANCE
REGULATIONS, CHAPTER 3, SECTION
303, REGARDING THE EAST RIDGE
HOUSING COMMISSION**

WHEREAS, the East Ridge City Council has created a housing commission codified in Title 13, Chapter 3, Section 303 of the East Ridge City Code; and

WHEREAS, pursuant to Section 303, the commission consists of five (5) residents of the City to be appointed by the City Council; and

WHEREAS, the City Council deems it desirable to amend Section 303 by incorporating a provision that allows each councilmember to have one (1) appointment to said commission; and

WHEREAS, the City Council deems it in the best interest of the City to amend Title 13, Chapter 3, Section 303 as set forth herein.

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF EAST RIDGE, TENNESSEE, that Title 13, Chapter 3, Section 303 of the East Ridge City Code is hereby amended as follows:

SECTION 1. Title 13, Chapter 3, Section 303 is hereby amended by adding “*with each councilmember having one (1) appointment to said commission*” at the end of the first sentence such that the first sentence in Title 13, Chapter 3, Section 303 reads as follows in its entirety:

There is hereby created and established a housing commission, to consist of five (5) residents of the city, to be appointed by the city council with each councilmember having one (1) appointment to said commission.

SECTION 2. **BE IT FURTHER ORDAINED** that all other parts to Title 13, Chapter 3, Section 303 shall remain unchanged.

SECTION 3. **BE IT FURTHER ORDAINED** that this Ordinance shall take effect immediately as provided by law, the public welfare of the City requiring it.

PASSED on First Reading _____, 2025.

PASSED on Second Reading _____, 2025.

Brian W. Williams, Mayor

ATTEST:

J. Scott Miller, City Manager

APPROVED AS TO FORM:

Mark W. Litchford, City Attorney

ORDINANCE NO. 1219

BRIAN WILLIAMS
Mayor

JACKY CAGLE
Councilmember

ANDREA WITT
Councilmember



DAVID TYLER
Vice Mayor

JEFFREY EZEL
Councilmember

J. SCOTT MILLER
City Manager

City of East Ridge

*1517 Tombras Avenue
East Ridge, Tennessee 37412
(423) 867-7711*

MEMORANDUM

TO: City Council

FROM: Mark Litchford, City Attorney

DATE: April 21, 2025

RE: Amending Title 2, Chapter 2, Section 101 – Library Board Appointments

At the last City Council meeting on April 10, 2025, I was tasked with preparing an ordinance amending Title 2, Chapter 2, Section 101 relative to library board appointments to effectuate the following: having each councilmember the opportunity to appoint one member to said board. The attached draft ordinance accomplishes this directive.

ORDINANCE NO. 1219

**AN ORDINANCE OF THE CITY COUNCIL
OF THE CITY OF EAST RIDGE,
TENNESSEE, TO AMEND TITLE 2,
BOARDS AND COMMISSIONS, CHAPTER
2, SECTION 101, REGARDING THE EAST
RIDGE LIBRARY BOARD**

WHEREAS, the East Ridge City Council has created a library board codified in Title 2, Chapter 2, Section 101 of the East Ridge City Code; and

WHEREAS, pursuant to Section 101, the board consists of five (5) residents of the City to be appointed by the City Council; and

WHEREAS, the City Council deems it desirable to amend Section 101 by incorporating a provision that allows each councilmember to have one (1) appointment to said board; and

WHEREAS, the City Council deems it in the best interest of the City to amend Title 2, Chapter 2, Section 101 as set forth herein.

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF EAST RIDGE, TENNESSEE, that Title 2, Chapter 2, Section 101 of the East Ridge City Code is hereby amended as follows:

SECTION 1. Title 2, Chapter 2, Section 101 is hereby amended by adding “*with each councilmember having one (1) appointment to said board*” at the end of the first sentence such that the first sentence in Title 2, Chapter 2, Section 101 reads as follows in its entirety:

There is hereby created and established a library board to consist of five (5) residents of the city, to be appointed by the city council with each councilmember having one (1) appointment to said board.

SECTION 2. **BE IT FURTHER ORDAINED** that all other parts to Title 2, Chapter 2, Section 101 shall remain unchanged.

SECTION 3. **BE IT FURTHER ORDAINED** that this Ordinance shall take effect immediately as provided by law, the public welfare of the City requiring it.

PASSED on First Reading _____, 2025.

PASSED on Second Reading _____, 2025.

Brian W. Williams, Mayor

ATTEST:

J. Scott Miller, City Manager

APPROVED AS TO FORM:

Mark W. Litchford, City Attorney

RESOLUTION NO. 3676

AGENDA MEMORANDUM

Sign Variance

Date: April 24th, 2025

Submitted by:



Michael Howell, Chief Building Official

SUBJECT:

Huston Woodis, representing Huston General Sign Company, is requesting a variance on behalf of BKW Properties, LLC, to install two signs at the site of the proposed Whataburger location at 6521 Ringgold Road. Mr. Woodis is seeking the city council's approval for a 90-foot pylon sign with two sign faces, 363 square feet in size, and a monument sign 12 feet in height with two sign faces, 66 square feet in size.

Sign Ordinance 1028 allows for one detached on-premises sign per lot, which may be in the form of a ground or monument sign. Each sign face is limited to 50 square feet, and the maximum height of the sign is 9 feet.

RESOLUTION NO. 3676

A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF EAST RIDGE, TENNESSEE, APPROVING A VARIANCE TO SIGN ORDINANCE NO. 1028 FOR THE PROPERTY LOCATED AT 6521 RINGGOLD ROAD, TAX MAP # 169L-L-004.01

WHEREAS, the City of East Ridge has adopted Sign Ordinance No. 1028 to regulate signage within the city limits; and

WHEREAS, Sign Ordinance No. 1028 currently allows for only one (1) detached on-premises sign per lot, which may be in the form of a ground or monument sign with each sign face limited to fifty (50) square feet and a maximum sign height of nine (9) feet; and

WHEREAS, Mr. Huston Woodis, representing Huston General Sign Company, has submitted a request on behalf of BKW Properties, LLC, seeking a variance from the requirements set forth in Sign Ordinance No. 1028 to install two signs at the property located at 6521 Ringgold Road, Tax Map # 169L-L-004.01, to allow the following:

1. One (1) pylon sign with a height of ninety (90) feet and two (2) sign faces, each sign face totaling three hundred sixty-three (363) square feet; and
2. One (1) monument sign with a height of twelve (12) feet and two (2) sign faces, each sign face totaling sixty-seven (67) square feet; and

WHEREAS, the City Council of the City of East Ridge has determined that such use is appropriate and desirable.

NOW, THEREFORE, BE IT RESOLVED by the City Council of the City of East Ridge, Tennessee, that:

SECTION 1. The City Council hereby approves a variance request to the City's sign ordinance submitted by Mr. Huston Woodis on behalf of BKW Properties, LLC, for the property located at 6521 Ringgold Road, Tax Map # 169L-L-004.01.

SECTION 2. The variance shall permit the installation of:

1. One (1) pylon sign with a height not to exceed ninety (90) feet, requesting an eighty-one (81) foot height variance, and two (2) sign faces not to exceed three hundred sixty-three (363) square feet for each sign face, requesting a sign face variance of three hundred thirteen (313) square feet for each face, two (2) in total; and

2. One (1) monument sign with a height not to exceed twelve (12) feet, requesting a height variance of three (3) feet, and two (2) sign faces not to exceed sixty-seven (67) square feet for each sign face, requesting a sign face variance of seventeen (17) square feet for each face, two (2) in total.

SECTION 3. All other requirements of Sign Ordinance No. 1028 shall remain in full force and effect unless otherwise amended by the City Council.

BE IT FURTHER RESOLVED that this Resolution shall take effect immediately after its passage, the public welfare of the City requiring it.

Adopted this _____ day of _____ 2025.

Brian W. Williams, Mayor

ATTEST:

J. Scott Miller, City Manager

APPROVED AS TO FORM:

Mark W. Litchford, City Attorney

BKW Properties, LLC
3326 Jenkins Road, Suite 101
Chattanooga, TN 37421

March 13, 2025

City of East Ridge
East Ridge, TN

To Whom It May Concern,

RE: Authorization Letter by BKW Properties, LLC at 3326 Jenkins Rd, Suite 101, Chattanooga,
TN 37421

I, Tathia Mattila, as authorized representative, and agent of BKW Properties, LLC, the owner of the aforementioned property, do hereby grant approval and permission for General Signs to request a permit variance at our property as a part of the new Whataburger project currently being constructed. Please let me know if you need any further information.

Regards,

A handwritten signature in black ink, appearing to read "Tathia Mattila", with a long horizontal flourish extending to the right.

Tathia Mattila
Director of Operations
BKW Properties, LLC

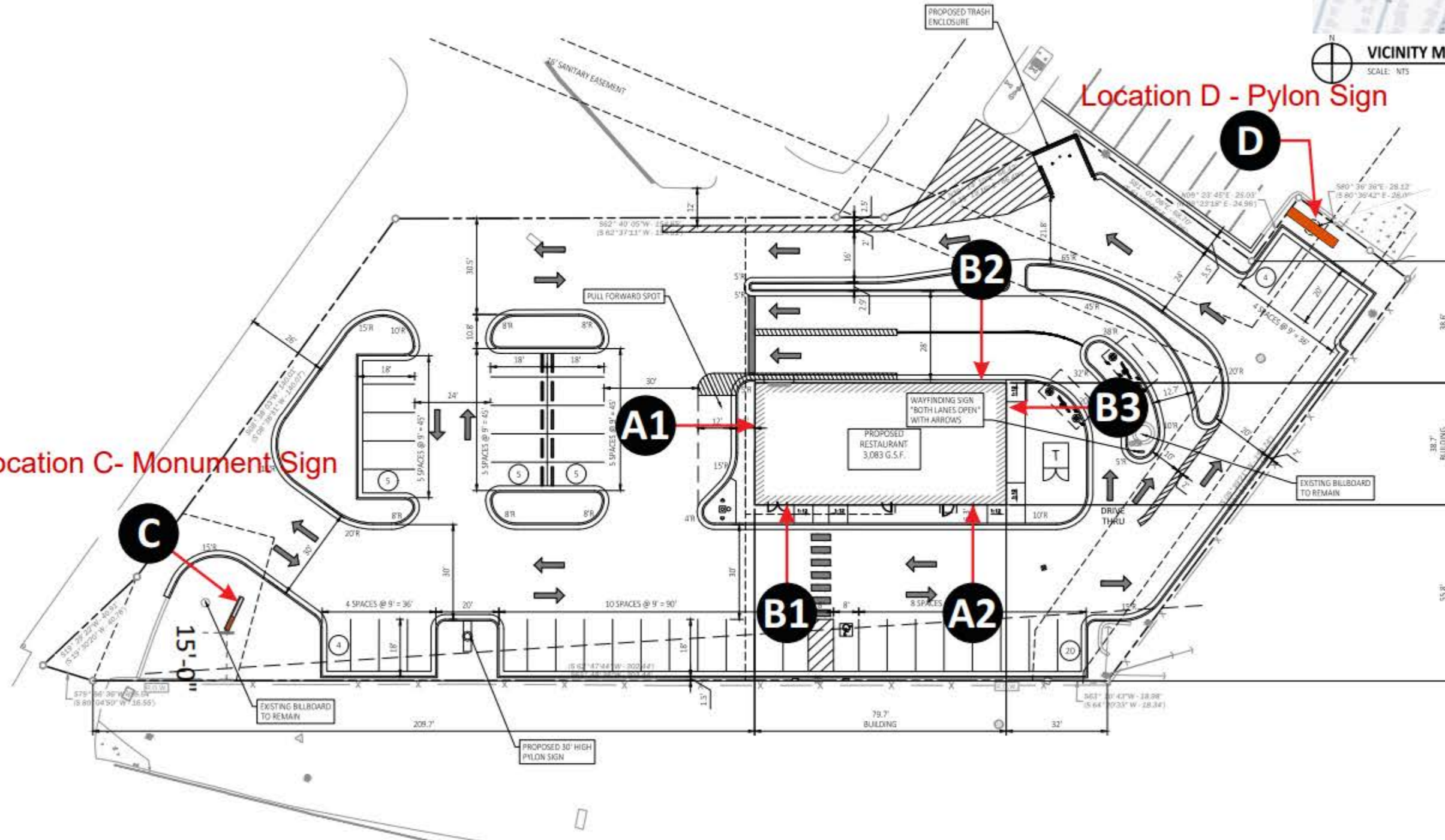
LIGHTING: FOLLOW CITY LIGHTING REQUIREMENTS.

SIGNAGE: GROUND SIGN: TO FOLLOW CITY REQUIREMENTS.



Location C - Monument Sign

Location D - Pylon Sign



GENERAL SITE NOTES

PARCEL AREA: 47,316 SF (1.086 ±AC)

ZONING: C-1. TOURISM COMMERCIAL DISTRICT.

REQUIRED BUILDING SETBACKS:
FRONT (W): 25' ALONG PUBLIC STREET
FRONT (S): 25' ALONG ROW
SIDE (N): N/A, BUT BUILDINGS TO BE MINIMUM 10' APART
REAR (E): N/A

PARKING REQUIREMENT: 1 SPACE PER 3 SEATS. ONE ADA REQUIRED SPACE PER 25 SPACES. 45 SEATS = 15 SPACES REQUIRED. 43 PROVIDED.

EXISTING SITE CONDITIONS: THE SITE IS A DEVELOPED, 1.086 ACRE PARCEL WITH A VACANT WALLY'S RESTAURANT WITHIN EAST RIDGE, TN, HAMILTON COUNTY.

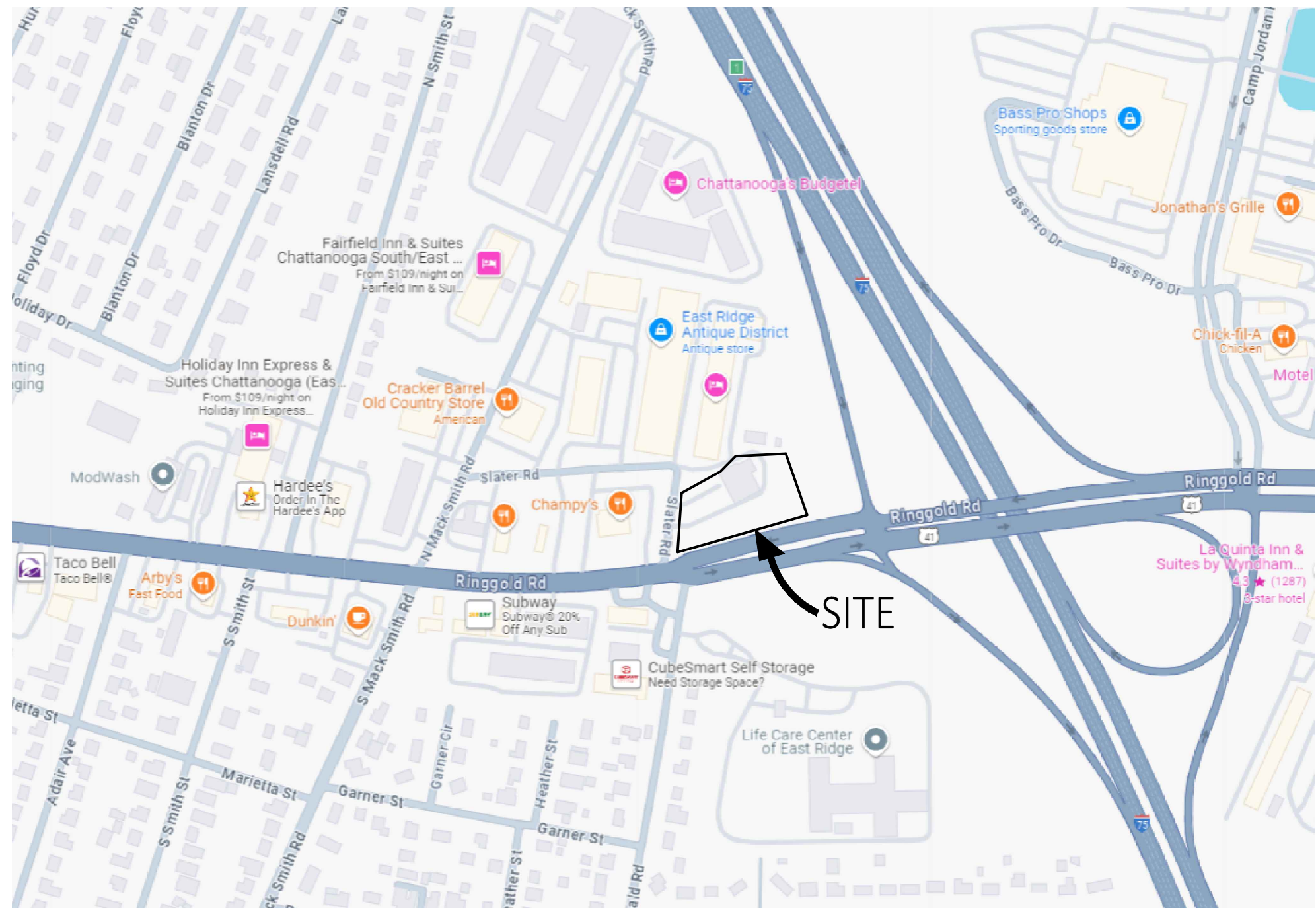
QUEING/STACKING - LANE A = 7 CARS ; LANE B = 8 CARS. TOTAL STACKING = 15 CARS.

FUTURE LAND USE: COMMERCIAL DEVELOPMENT.

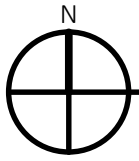
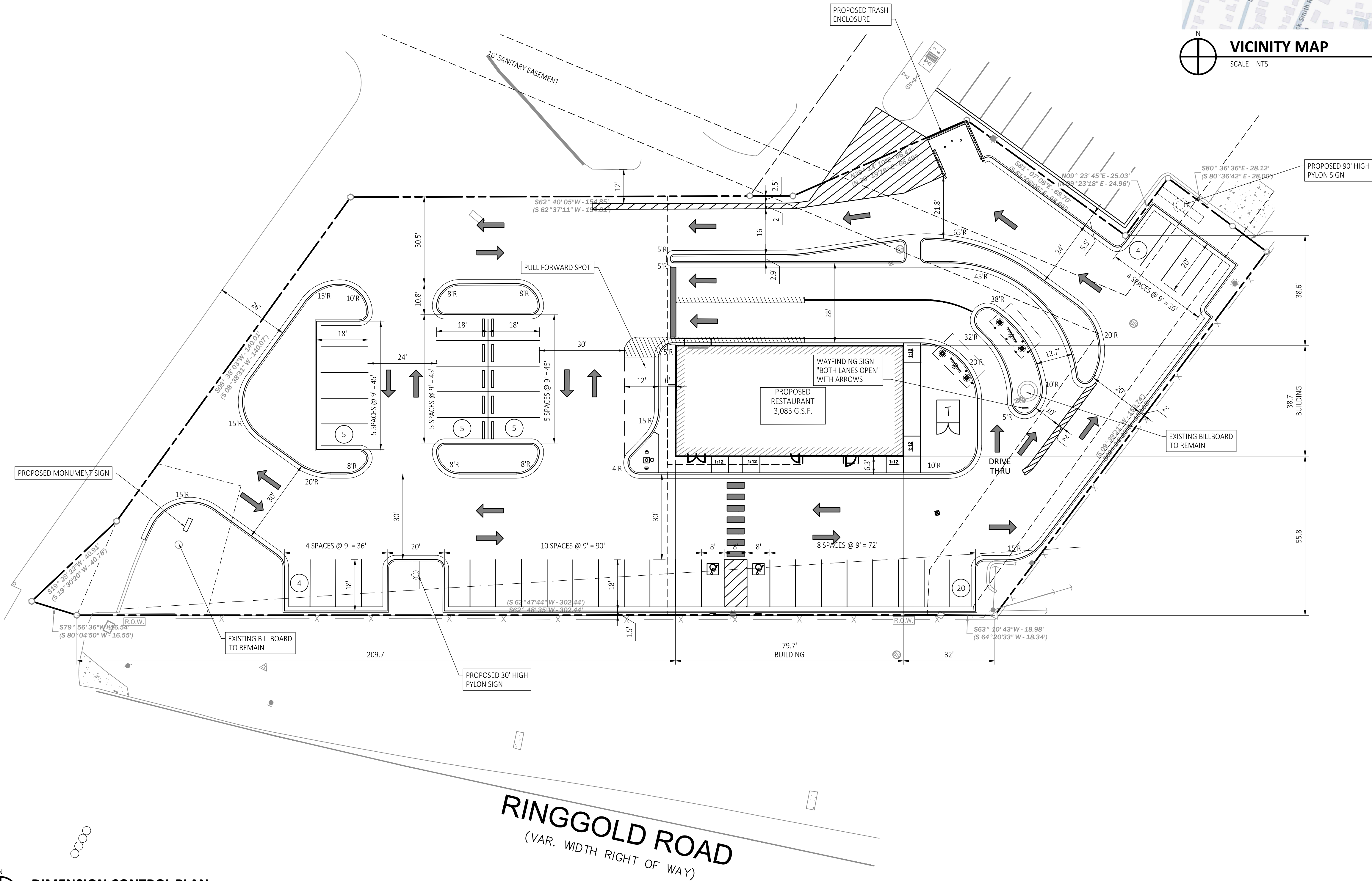
LANDSCAPE: LANDSCAPE PLAN SHALL BE SUBMITTED AS PART OF THE PLANNING DEPARTMENT APPLICATION.

LIGHTING: FOLLOW CITY LIGHTING REQUIREMENTS.

SIGNAGE: GROUND SIGN: TO FOLLOW CITY REQUIREMENTS.



VICINITY MAP
SCALE: NTS



DIMENSION CONTROL PLAN

SCALE: 1" = 20'-0"



sevan
ENGINEERING, P.C.

Corporate Office:
3025 Highland Parkway | Suite 850
Downers Grove, IL 60515
info@sevanengineering.com www.sevanengineering.com

INTEGRITY | RESPECT | TEAMWORK
EXCELLENCE | CHARITY

TENNESSEE PROFESSIONAL ENGINEERING FIRM NO. 4326

CLIENT
MWB RESTAURANTS, LLC



SEAL
I HEREBY CERTIFY THAT THESE DRAWINGS
HAVE BEEN PREPARED UNDER MY DIRECT
SUPERVISION AND THAT TO THE BEST OF MY
KNOWLEDGE AND BELIEF, COMPLY WITH THE
BUILDING CODES AND ORDINANCES OF THE
LOCAL MUNICIPALITY.

REVISIONS		
REV.	DATE	DESCRIPTION
0	12.27.2024	CLIENT REVIEW
1	01.02.2025	CLIENT REVIEW

CONSULTANTS

PROJECT INFORMATION
DIMENSION CONTROL PLAN - OPTION 2
MAHOGANY WHATABURGER
6521 RINGGOLD ROAD
CHATTONOOGA, TN 37412
(HAMILTON COUNTY)

SHEET MANAGEMENT

PROJECT NUMBER: EAST RIDGE - RINGGOLD RD
ISSUED DATE: 12.27.2024
DRAWN BY: KA
CHECKED BY: OP
PROJ. MGR: TK

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SHEET NUMBER

C1.20

Limits of liability extend only to the work detailed, for the quantity of assemblies indicated (1 unless noted otherwise), at the location specified, and by the client listed; use of these plans and/or corresponding structural calculations in violation of either voids all liability.

GENERAL

- ALL MATERIALS AND WORK SHALL CONFORM TO THE REQUIREMENTS OF THE 2018 INTERNATIONAL BUILDING CODE (IBC).
- CONSTRUCTION METHODS AND PROJECT SAFETY: DRAWINGS AND SPECIFICATIONS REPRESENT THE FINISHED STRUCTURE AND DO NOT INDICATE METHODS, PROCEDURES, OR SEQUENCE OF CONSTRUCTION. TAKE NECESSARY PRECAUTIONS TO MAINTAIN AND ENSURE THE INTEGRITY OF THE STRUCTURE DURING CONSTRUCTION. THE EOR WILL NOT ENFORCE SAFETY MEASURES OR REGULATIONS. THE CONTRACTOR SHALL DESIGN, CONSTRUCT, AND MAINTAIN ALL SAFETY DEVICES AND SHALL BE SOLELY RESPONSIBLE FOR CONFORMING TO ALL LOCAL, STATE, AND FEDERAL SAFETY AND HEALTH STANDARDS, LAWS, AND REGULATIONS.
- VERIFY ALL DIMENSIONS, ELEVATIONS AND SITE CONDITIONS PRIOR TO THE START OF CONSTRUCTION AND NOTIFY THE ENGINEER IMMEDIATELY OF ANY DISCREPANCIES OR INCONSISTENCIES THAT ARE FOUND. NOTED DIMENSIONS TAKE PRECEDENCE OVER SCALED DIMENSIONS. DO NOT SCALE DRAWINGS.
- ALL OMISSIONS AND/OR CONFLICTS BETWEEN THE VARIOUS ELEMENTS OF THE WORKING DRAWINGS AND SPECIFICATIONS SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER AND FIELD INSPECTOR. THE ENGINEER SHALL PROVIDE A SOLUTION PRIOR TO PROCEEDING WITH ANY WORK AFFECTED BY THE CONFLICT OR OMISSION.
- WHERE NO CONSTRUCTION DETAILS ARE SHOWN OR NOTED FOR ANY PART OF THE WORK, USE THOSE FOR OTHER SIMILAR WORK.
- WHEN A DETAIL IS IDENTIFIED AS TYPICAL, APPLY IN ESTIMATING AND CONSTRUCTION TO EVERY LIKE CONDITION WHETHER OR NOT THE REFERENCE IS REPEATED IN EVERY INSTANCE.
- CHANGES TO THE DRAWINGS: OBTAIN PRIOR WRITTEN APPROVAL.
- WORK PERFORMED IN CONFLICT WITH THE DRAWINGS OR APPLICABLE BUILDING CODE REQUIREMENTS SHALL BE CORRECTED AT THE EXPENSE OF THE CONTRACTOR.

DESIGN CRITERIA

- STRUCTURE IS DESIGNED IN ACCORDANCE WITH ASCE 7-16: MINIMUM DESIGN LOADS FOR BUILDINGS AND OTHER STRUCTURES.
- WIND LOAD:
BASIC WIND SPEED, V_{ULT} = 105 MPH MAXIMUM
RISK CATEGORY: II EXPOSURE: C
- SNOW LOAD:
IMPORTANCE FACTOR, I_s = 1.0
SURFACE ROUGHNESS: C EXPOSURE: C
GROUND --- 10 PSF MAXIMUM.
ROOF --- 5 PSF
- ROOF LIVE LOAD: --- 15 PSF

STEEL

- STEEL SHAPES SHALL CONFORM TO THE FOLLOWING (U.N.O.):
RND. HSS ASTM A500, GR C $F_y=46$ KSI MIN.
SQ./RECT. HSS ASTM A500, GR C $F_y=50$ KSI MIN.
THREADED ROD ASTM A36 $F_y=36$ KSI MIN.
STEEL PLATE ASTM A36 $F_y=36$ KSI MIN.
ANGLE & CHANNEL ASTM A36 $F_y=36$ KSI MIN.
STD. PIPE ASTM A53, GR B $F_y=35$ KSI MIN.
STRUCT. PIPE ASTM A252, GR 3 $F_y=45$ KSI MIN.
WIDE FLANGE ASTM A992 $F_y=50$ KSI MIN.
- MACHINE BOLTS SPECIFIED AS "A307" SHALL CONFORM TO ASTM A307 w/ NUTS PER ASTM A563A & WASHERS PER ASTM F844 (U.N.O.). THREADED PARTS, NUTS, AND WASHERS SHALL BE HDG OR ZP AS DEFINED HEREIN.
- STRUCTURAL BOLTS SHALL CONFORM TO ASTM F3125 GRADES A325 OR A490 AS SPECIFIED ("A325" OR "A490") w/ NUTS PER ASTM A563DH & WASHERS PER ASTM F436.
A. WHERE DESIGNATED AS "-X", CARE MUST BE TAKEN TO ENSURE THREADS ARE EXCLUDED FROM THE SHEAR PLANE(S).
B. WHERE DESIGNATED AS "-N" OR IF NO DESIGNATION IS NOTED, THREADS MAY BE INCLUDED IN THE SHEAR PLANE(S).
C. WHERE SPECIFIED, "A325" MAY BE HDG OR ZP AS DEFINED HEREIN.
D. GRADE "A490" SHALL NOT BE HDG OR ZP AS DEFINED HEREIN.
- ANCHORS CAST IN CONCRETE SHALL CONFORM TO ASTM F1554 GR. 36 (U.N.O.) w/ NUTS TO ASTM A563 AND WASHERS TO ASTM F436. PARTS SHALL BE HOT-DIP GALVANIZED (HDG) OR ZINC (MECHANICAL) PLATED (ZP). PARTS EMBEDDED ENTIRELY IN CONCRETE MAY BE PLAIN STEEL.
- WHERE SPECIFIED FOR STEEL THREADED PARTS, NUTS, AND WASHERS, HOT-DIP GALVANIZING (HDG) SHALL CONFORM TO ASTM F2329 AND ZINC (MECHANICAL) PLATING (ZP) TO CLASS 55 PER ASTM B695.
- PLAIN STEEL FASTENERS ARE NOT TO BE USED UNLESS SPECIFIED.
- ZINC ELECTRO-PLATED FASTENERS PER ASTM F1941 MAY BE SUBSTITUTED FOR INTERIOR APPLICATIONS, BUT ARE OTHERWISE NOT TO BE USED UNLESS SPECIFIED.
- NUTS AND WASHERS SHALL HAVE THE SAME COATING AS THE CORRESPONDING THREADED PART.
- WHERE SPECIFIED, IRON AND STEEL HARDWARE SHALL BE HOT-DIP GALVANIZED PER ASTM A153.
- STAINLESS STEEL (SS) BOLTS, STUDS, AND THREADED ROD SHALL CONFORM TO ASTM F593 AND BE ALLOY 304 OR 316 w/ NUTS TO ASTM F594. NUTS AND WASHERS SHALL MATCH THE ALLOY OF THE THREADED PART.
- WELDING:
A. WELD STRUCTURAL STEEL IN COMPLIANCE WITH AWS/AWS D1.1 AND AISC SPECIFICATION, CHAPTER J. WELDERS SHALL BE CERTIFIED AS REQUIRED BY THE LOCAL BUILDING AUTHORITY. WELDING SHALL BE DONE BY ELECTRIC ARC PROCESS USING LOW-HYDROGEN ELECTRODES WITH SPECIFIED TENSILE STRENGTH NOT LESS THAN 70 KSI UNLESS NOTED OTHERWISE.
B. UNLESS A LARGER WELD SIZE IS INDICATED, PROVIDE MINIMUM SIZE WELD PER AISC SPECIFICATION, SECTION J2, TABLE J2.4.

ALUMINUM

- FABRICATE AND ERECT ALUMINUM IN COMPLIANCE WITH THE 2015 ALUMINUM DESIGN MANUAL (ADM1), THE SPECIFICATIONS FOR ALUMINUM SHEET METAL WORK (ASM35), AND CHAPTER 20 OF THE BUILDING CODE.
- ALUMINUM SHAPES SHALL CONFORM TO THE FOLLOWING:
PIPE & TUBE 6061-T6 ASTM B429 $F_y=35$ KSI MIN.
STRUCT. PROFILES 6061-T6 ASTM B308 $F_y=35$ KSI MIN.
SHEET & PLATE 6061-T6 ASTM B209 $F_y=35$ KSI MIN.
STAPLE TUBE 6063-T5 ASTM B221 $F_y=16$ KSI MIN.

- ALL SHOP AND FIELD WELDS SHALL BE PERFORMED BY AN AISC QUALITY CERTIFIED FABRICATOR.
- UNLESS A LARGER WELD SIZE IS INDICATED, PROVIDE MINIMUM SIZE WELD PER ADM 1.
- FILLER SHALL BE 5556 ALLOY REGARDLESS OF MEMBER THICKNESS. NO OTHER FILLER ALLOY SHALL BE USED UNLESS NOTED OTHERWISE.

CONCRETE & REINFORCEMENT

- MINIMUM 28-DAY COMPRESSIVE STRENGTH (f_c) SHALL BE 2,500 PSI.
- REINFORCEMENT TO BE ASTM A615 GR 60, $F_y=60$ KSI UNO.
- CALCIUM CHLORIDE OR ADDED CHLORIDE IS NOT PERMITTED.
- ALL REINFORCED CONCRETE SHALL BE CONSOLIDATED WITH MECHANICAL VIBRATORS.
- MINIMUM CONCRETE COVER:
CAST AGAINST & EXPOSED TO EARTH 3"
EXPOSED TO EARTH OR WEATHER 2"
- CHAIRS AND SPACERS: AS REQUIRED TO MAINTAIN COVER.
- SIGN MAY BE INSTALLED ON FOUNDATION AFTER A MINIMUM CURING TIME OF (14) DAYS PROVIDED CURING PROCESS IS PROPERLY MAINTAINED PER ACI 318.
- GROUT SHALL BE NON-SHRINK AND NON-METALLIC WITH A MINIMUM COMPRESSIVE STRENGTH OF 5,000 PSI AT (1) DAY. MIX AND PLACE IN ACCORDANCE WITH MANUFACTURER INSTRUCTIONS.

FOUNDATIONS

- DESIGN BEARING PRESSURES ARE PER IBC CLASS 4 PRESUMPTIVE VALUES (NO SPECIAL INSPECTION REQUIRED):
LATERAL BEARING: 150 PSF/FT
VERTICAL BEARING: 2,000 PSF

EXISTING CONDITIONS

- ENGINEER WILL NOT BE PERFORMING ON-SITE INSPECTIONS OR VERIFICATIONS. IT IS THE RESPONSIBILITY OF THE INSTALLER AND OWNER(S) TO IDENTIFY EXISTING CONDITIONS AND CONTACT ENGINEER WITH ANY DISCREPANCIES OR CONCERNS.
- EXISTING INFORMATION HAS BEEN FURNISHED BY THE ENTITY WHOM THIS DOCUMENT WAS PREPARED FOR. ENGINEER IN NO WAY CERTIFIES THIS INFORMATION AS "AS-BUILT".
- FEATURES OF WORK ANNOTATED AS "VERIFY" (OR SIMILAR) MUST BE INSPECTED, VERIFIED AS SUCH, AND DOCUMENTED PRIOR TO FABRICATION AND INSTALLATION.
- IF THERE IS ANY REASON TO BELIEVE THE EXISTING CONDITIONS DETAILED HEREIN ARE NOT ACCURATE, CONTRACTOR SHALL CEASE WORK AND NOTIFY ENGINEER IMMEDIATELY.
- CONTRACTOR SHALL INSPECT AND CONFIRM THE QUALITY OF EXISTING STRUCTURE AS "IN GOOD REPAIR". STRUCTURE SHALL BE FREE OF CORROSION, DECAY, AND ANY OTHER MATERIAL, FABRICATION, ASSEMBLY, OR INSTALLATION DEFECT. IF THERE ARE ANY INDICATIONS THAT THIS IS NOT THE CASE, CONTRACTOR SHALL CEASE WORK IMMEDIATELY AND NOTIFY ENGINEER.

THIS AREA INTENTIONALLY LEFT BLANK

EVALUATION REPORT SCHEDULE

ANCHORS, FASTENERS, AND OTHER PRODUCTS SHALL CONFORM TO AND BE INSTALLED PER THEIR RESPECTIVE EVALUATION REPORT(S) AS FOLLOWS (NOT ALL APPLICABLE THIS PROJECT):

ANCHOR TYPE	REPORT #
HILTI KB-T22 (C5 & S5) ANCHORS IN CONCRETE	ICC-ESR-4266
HILTI KB-T22 (C5 & S5) ANCHORS IN MASONRY	ICC-ESR-4561
HILTI KH-EZ (C5 & S5) ANCHORS IN CONCRETE	ICC-ESR-3027
HILTI KH-EZ (C5 & S5) ANCHORS IN MASONRY	ICC-ESR-3056
HILTI HIT-HY 200 ADHESIVE IN CONCRETE	ICC-ESR-3187
HILTI HIT-HY 200 ADHESIVE IN MASONRY	ICC-ESR-3963
SIMPSON TITEN HD (C5) ANCHORS IN CONCRETE	ICC-ESR-2713
SIMPSON TITEN HD (C5 & S5) ANCHORS IN MASONRY	ICC-ESR-1056
SIMPSON TITEN HD (S5) ANCHORS IN CONCRETE	UES-ER-493
TAPCON ANCHORS IN MASONRY	ICC-ESR-1671
TAPCON ANCHORS IN CONCRETE	ICC-ESR-2202
TAPCON+ SCREW ANCHORS IN CONCRETE	ICC-ESR-3699
ITW BUILDEX TEKS SD5	ICC-ESR-1976

ABBREVIATIONS

ABV.	ABOVE	G.C.	GENERAL CONTRACTOR
ADD'L.	ADDITIONAL	HDG	HOT DIP GALVANIZED
APF	ABOVE FINISHED FLOOR	HOR.	HORIZONTAL
ALT.	ALTERNATE	O.C.	ON CENTER
ALUM.	ALUMINUM	LOC.	LOCATION
A.O.R.	ARCHITECT OF RECORD	MAX.	MAXIMUM
ARCH.	ARCHITECTURAL	MIN.	MINIMUM
BTM.	BOTTOM	(N)	NEW
BLK'G.	BLOCKING	N.T.E.	NOT TO EXCEED
CIRC.	CIRCLE/CIRCULAR	O/	OVER
CONC.	CONCRETE	O.D.	OUTSIDE DIAMETER
CONN.	CONNECTION	OPT.	OPTIONAL
CONT.	CONTINUOUS	PENE.	PENETRATION
CTR.	CONTRACTOR	REINF.	REINFORCEMENT
DIA.	DIAMETER	RND	ROUND
DET.	DETAIL	SIM.	SIMILAR
(E)	EXISTING	SS	STAINLESS STEEL
EXIST.	EXISTING	STD	STANDARD
EA.	EACH	SUPP.	SUPPLEMENTAL
E.W.	EACH WAY	SQ.	SQUARE
ELEV.	ELEVATION	T/O	TOP OF
EMBED.	EMBEDMENT	TYP.	TYPICAL
E.O.R.	ENGINEER OF RECORD	THK.	THICK(NESS)
FAB.	FABRICATOR/FABRICATION	U.N.O.	UNLESS NOTED OTHERWISE
FDN.	FOUNDATION	VERT.	VERTICAL
FRMG.	FRAMING	w/o	WITH
FTG.	FOOTING	W/O	WITHOUT
F.V.	FIELD VERIFY	ZP	ZINC (MECHANICAL) PLATED

MANUFACTURED SIGN CABINETS

UNLESS NOTED OTHERWISE, MANUFACTURED SIGN CABINETS SHALL BE DESIGNED BY THE MANUFACTURER/FABRICATOR OR OTHER COMPETENT PARTY AND FABRICATED IN ACCORDANCE WITH ALL APPLICABLE CODES, UL LISTINGS, LOCAL ORDINANCES, AND INDUSTRY STANDARDS. THIS INCLUDES FACES AND CLADDING, INTERNAL STRUCTURE, ELECTRICAL, AND ALL OTHER ACCESSORY COMPONENTS.

THE MANUFACTURER/FABRICATOR IS RESPONSIBLE FOR ENSURING ALL CABINETS ARE ASSEMBLED WITH ADEQUATE INTERNAL FRAMING AND STIFFNESS. CABINET FRAMING SHALL BE CAPABLE OF DELIVERING ALL IMPOSED DESIGN LOADS (WIND, SEISMIC, DEAD, SNOW, ETC.) DIRECTLY TO THE STRUCTURAL CONNECTIONS OR ELEMENTS DETAILED HEREIN. CABINET FRAMING SHALL LIMIT EXCESSIVE VIBRATION, DRIFT, OR DEFLECTION TO REASONABLE LEVELS.

FAILURE TO PROVIDE AN ADEQUATE LOAD PATH OR SUFFICIENT CABINET STIFFNESS MAY RESULT IN EXCESSIVE VIBRATION, DRIFT, OR DEFLECTION WHICH MAY YIELD SECOND-ORDER EFFECTS THAT CAN NEGATIVELY AFFECT THE PERFORMANCE OF THE STRUCTURAL CONNECTIONS OR ELEMENTS DETAILED HEREIN.

REVERENCE ENGINEERING MAKES NO CLAIMS AS TO THE SUITABILITY OF MANUFACTURED SIGN CABINETS IDENTIFIED AS "BY MFR." OR "BY FAB." WHICH HAVE NOT BEEN ENGINEERED, CERTIFIED, OR REVIEWED BY REVERENCE ENGINEERING UNLESS SPECIFICALLY CONTRACTED OTHERWISE AND DETAILED OR NOTED HEREIN.

DESIGN BY OTHERS NOTE

REVERENCE ENGINEERING IN NO WAY CERTIFIES OR MAKES CLAIMS TO THE SUITABILITY OF CONDITIONS OR ELEMENTS (EXISTING OR NEW) THAT ARE DESIGNED BY OTHERS. SUCH CONDITIONS AND ELEMENTS ARE IDENTIFIED AS "BY OTHERS" OR "DESIGNED" BY OTHERS" AND ARE NOT ENGINEERED BY REVERENCE ENGINEERING.

THE SCOPE OF ENGINEERING HEREIN ASSUMES THESE ELEMENTS HAVE BEEN, OR WILL BE, DESIGNED OR CHECKED FOR SUITABILITY BY A DESIGN PROFESSIONAL.

ELECTRICAL NOTE

ELECTRIC COMPONENTS AND WIRING ARE NOT DESIGNED BY REVERENCE ENGINEERING. FABRICATOR AND INSTALLER SHALL COMPLY WITH THE CURRENT VERSION OF THE ADOPTED NATIONAL ELECTRIC CODE (NEC) AND ARTICLE 600: "ELECTRIC SIGNS AND OUTLINE LIGHTING".



www.reverenceengineering.com
(619) 354-1152
501 W BROADWAY, STE 425
SAN DIEGO, CA 92101

PREPARED FOR:

PATTISON ID

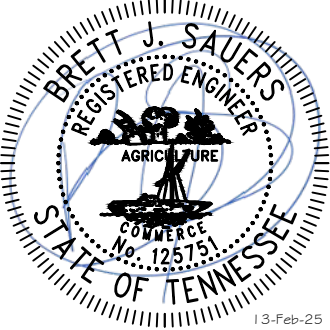
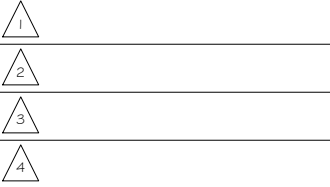
PROJECT #:

2502050

WHATABURGER
SIGN PACKAGE

6521 RINGGOLD RD
EAST RIDGE, TN

No.	Issue/Revision:	Date:
----	Initial Submittal	2-13-2025



SHEET TITLE:

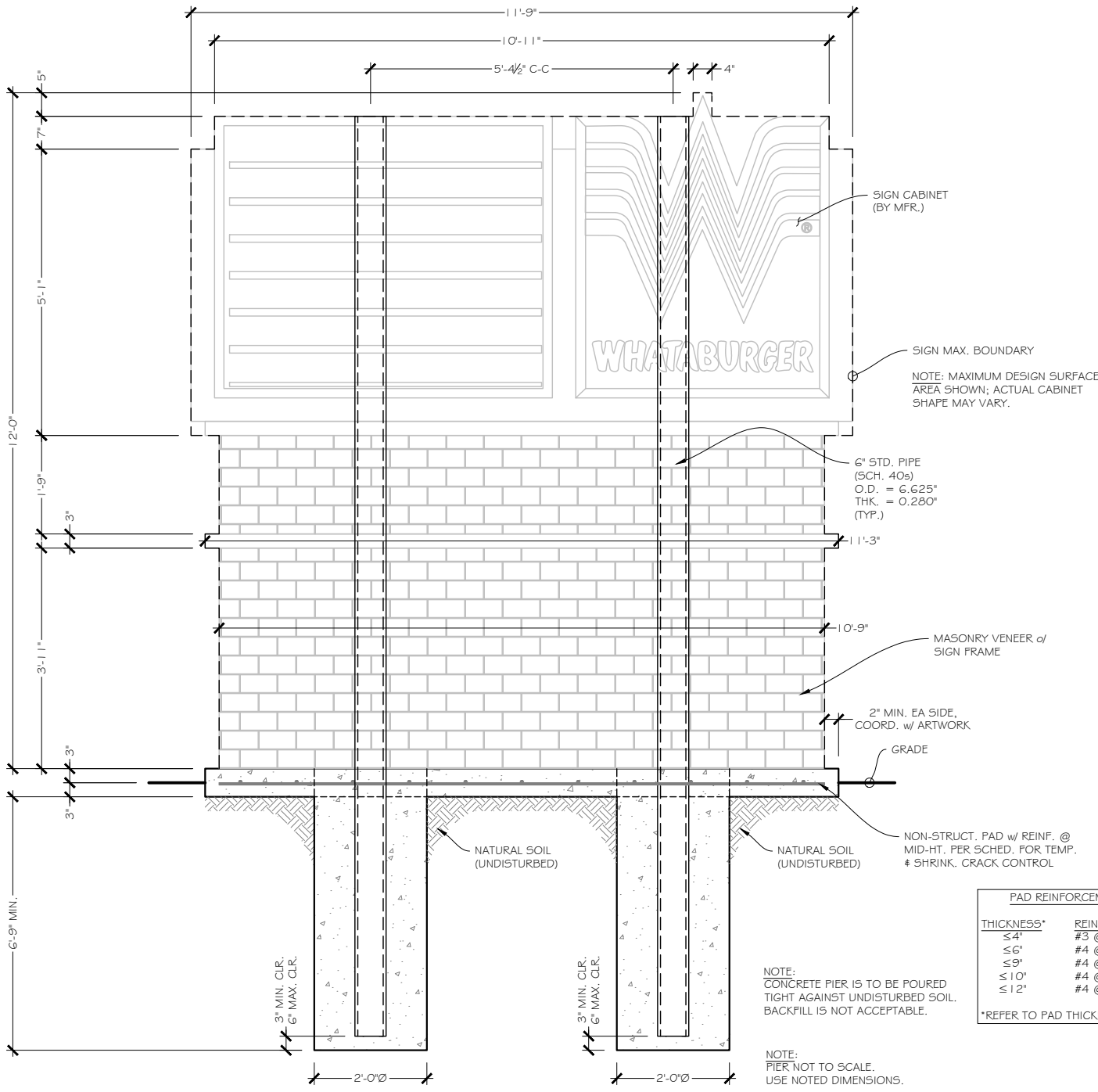
STRUCTURAL

SHEET:

S.1

ORIGINAL SHEET SIZE: 11x17

Limits of liability extend only to the work detailed, for the quantity of assemblies indicated (1 unless noted otherwise), at the location specified, and by the client listed; use of these plans and/or corresponding structural calculations in violation of either voids all liability.



1 SIGN C ELEVATION

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PREPARED FOR:

PATTISON ID

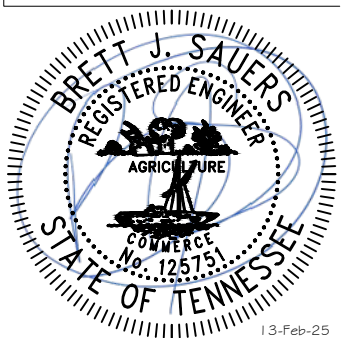
PROJECT #:

2502050

WHATABURGER
SIGN PACKAGE

6521 RINGGOLD RD
EAST RIDGE, TN

No.	Issue/Revision:	Date:
1	Initial Submittal	2-13-2025



13-Feb-25

SHEET TITLE: STRUCTURAL

SHEET: S.2

ORIGINAL SHEET SIZE: 11x17

PREPARED FOR:

PATTISON ID

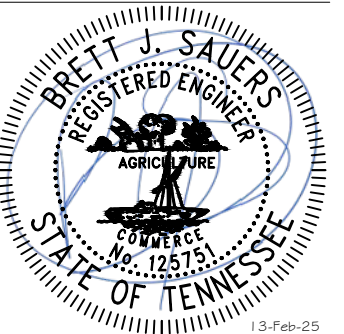
PROJECT #:

2502050

WHATABURGER SIGN PACKAGE

6321 KINGGOLD RD
EAST RIDGE, TN

Four triangles are shown, each with a horizontal line above it for writing. The triangles are labeled 1, 2, 3, and 4 from top to bottom.

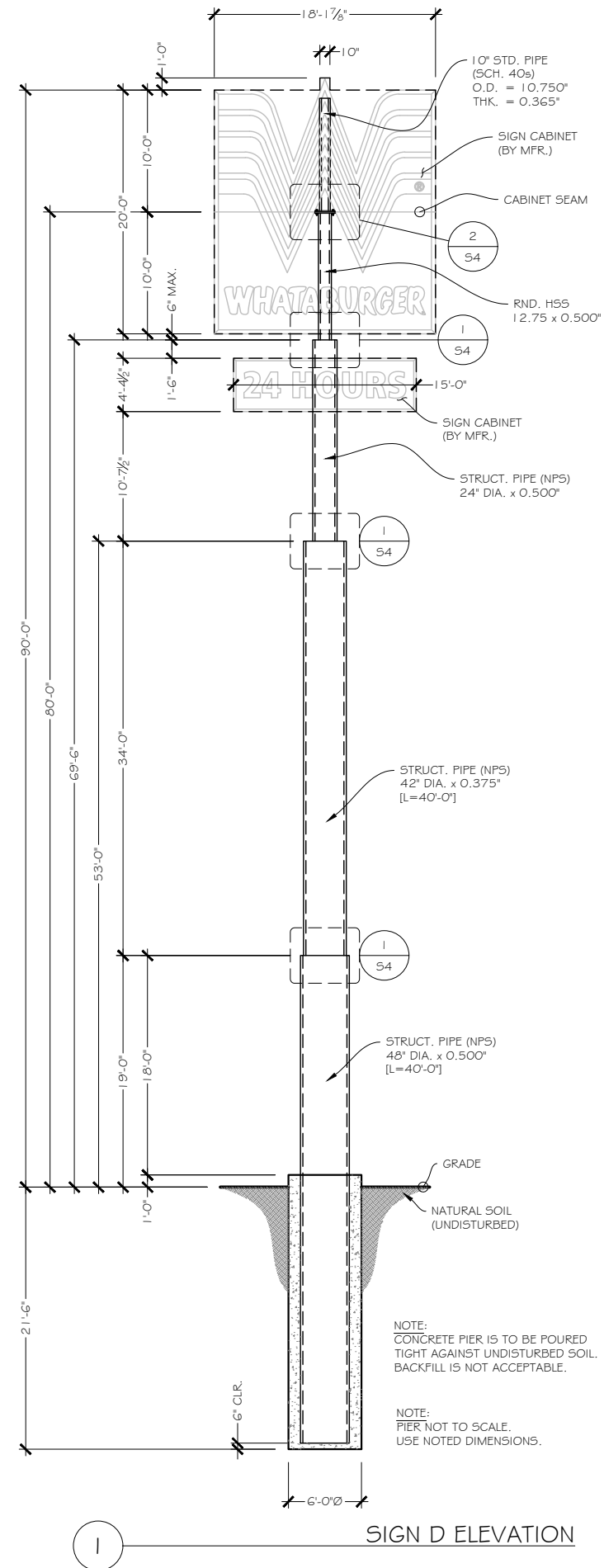


SHEET TITLE: STRUCTURAL

SHEET:

S.3

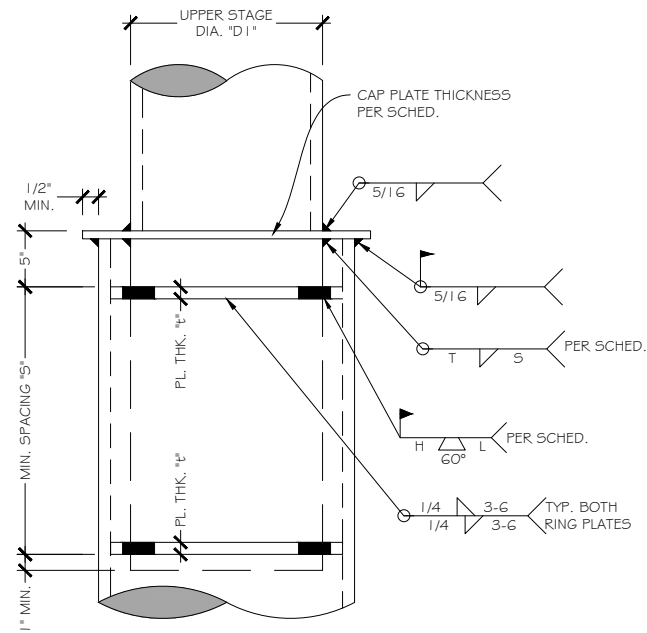
ORIGINAL SHEET SIZE: 11x17



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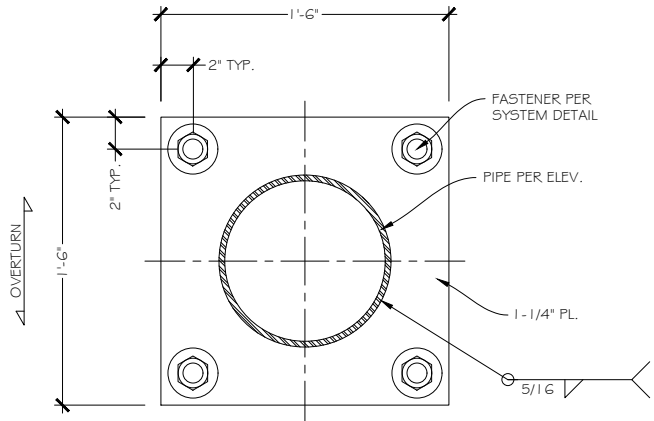
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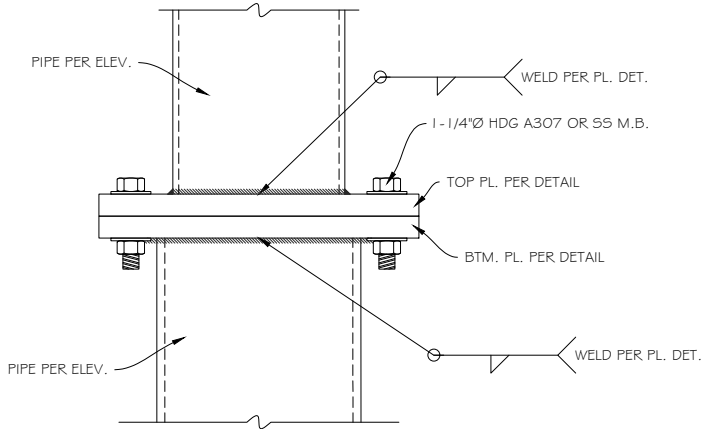


UPPER STAGE DIA. "D1"	CAP PL. THK.	RING PL. THK.	RING PL. SPACING	# SLOTS / RING PL.	WELD SIZES		SLOT WELDS	
					T	S	H	L
< 12"	3/4"	3/4"	18"	4	1/4"	5-6	5/8"	1-3/4"
12" - 18"	3/4"	1"	30"	6	5/16"	5-6	7/8"	2"
20" - 24"	1"	1"	36"	6	5/16"	11-12	7/8"	2-1/4"
26" - 30"	1"	1-1/4"	48"	8	5/16"	11-12	1"	2-1/2"
32" - 42"	1-1/2"	1-1/4"	66"	8	5/16"	11-12	1"	3"
48" - 54"	1-1/2"	1-1/4"	84"	10	5/16"	11-12	1"	3-1/2"
60" - 66"	2"	1-1/4"	102"	12	5/16"	11-12	1"	4"
72" - 96"	2"	1-1/4"	144"	16	5/16"	11-12	1-1/8"	4"

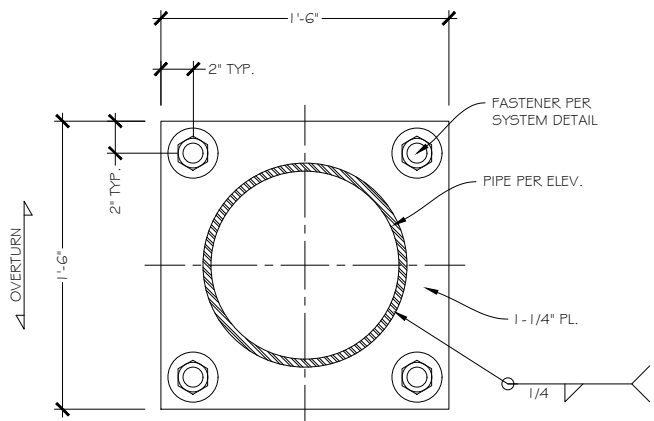
1 TYP. SPLICE DETAIL



TOP PLATE



SYSTEM DETAIL



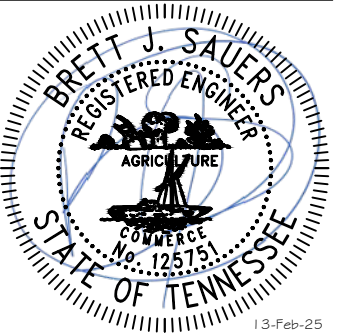
BOTTOM PLATE

2 CONNECTION DETAIL

WHATABURGER
SIGN PACKAGE

6521 RINGGOLD RD
EAST RIDGE, TN

No.	Issue/Revision:	Date:
----	Initial Submittal	2-13-2025
1		
2		
3		
4		



Whataburger
6521 Ringgold Rd
East Ridge, TN

Revision Note

R1(1-17-25)JH: Update site plan - see art reference folder.
C - monument - Revise to wb ID and marquee side by side
option. OAH @ 9'. Note new location on monument on site plan
D - Pylon - Delete from sign package (Short pylon - rename e
tall pylon to D)

Opt.2 - Please show stacked option for monument with 12' OAH. Cannot exceed 48 sq ft.

R6(2-10-25)h: Page 1- delete "Proposed monument sign" and "Proposed 30' high pylon sign" call outs on the site plan
C- Monument- break up the brick change reveal detail

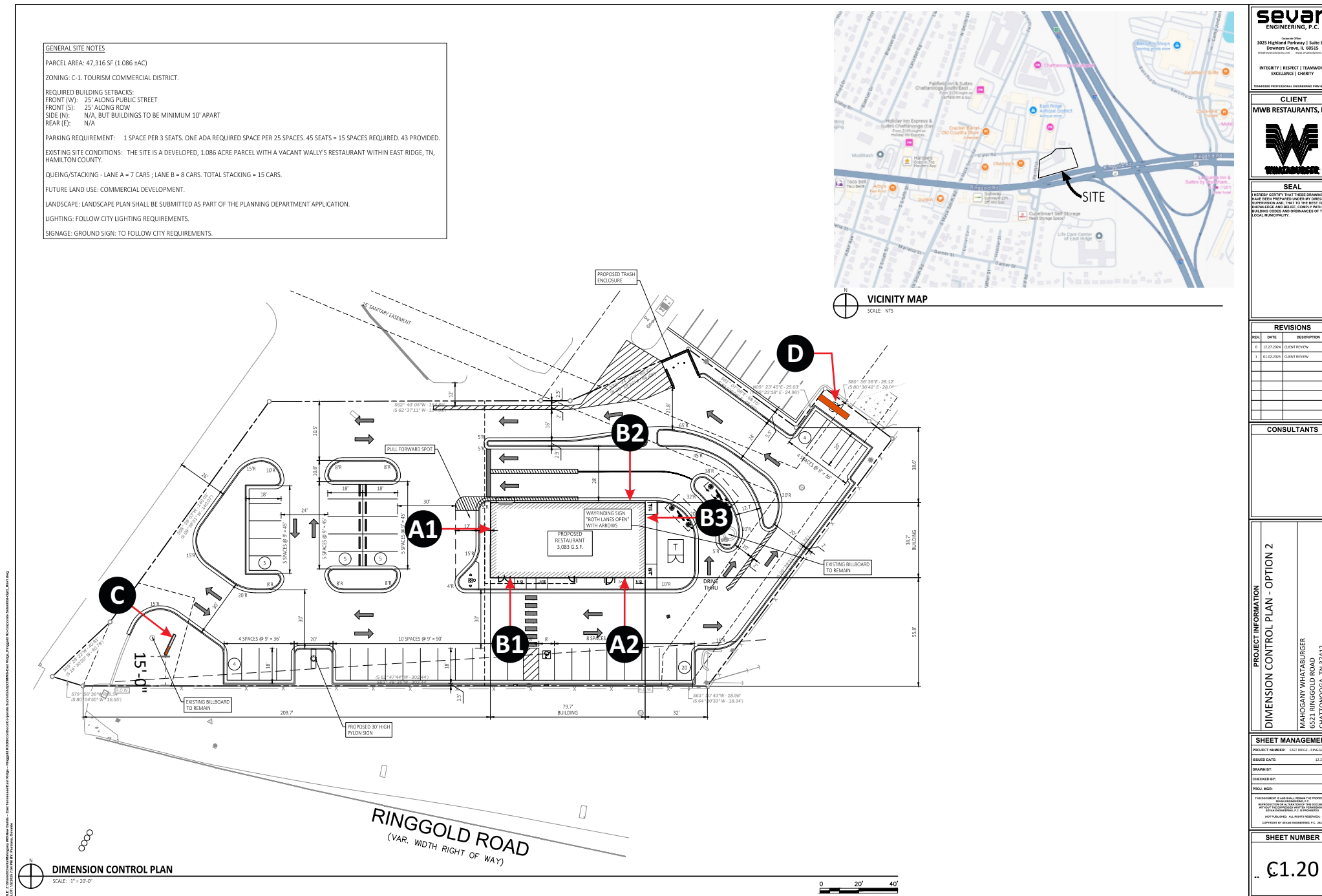
Signature

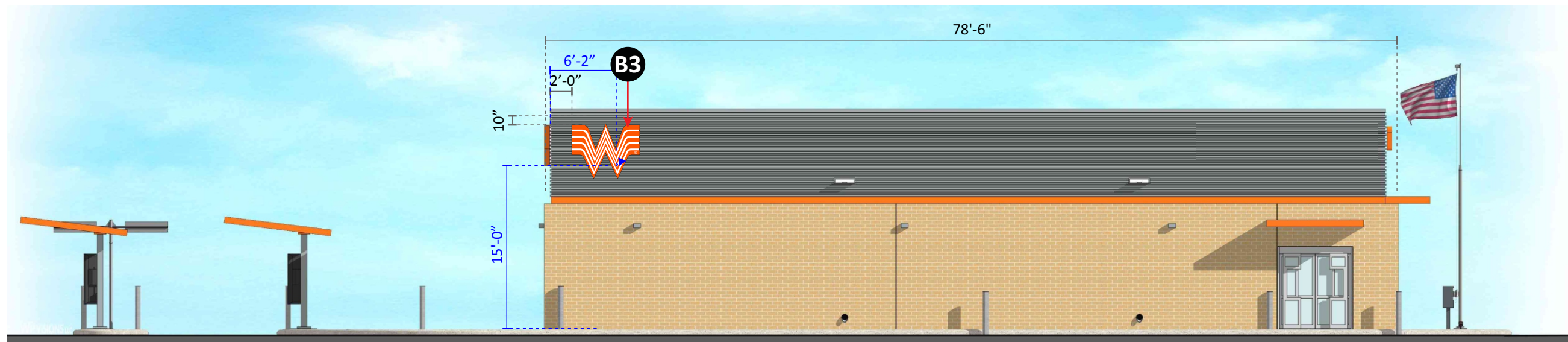
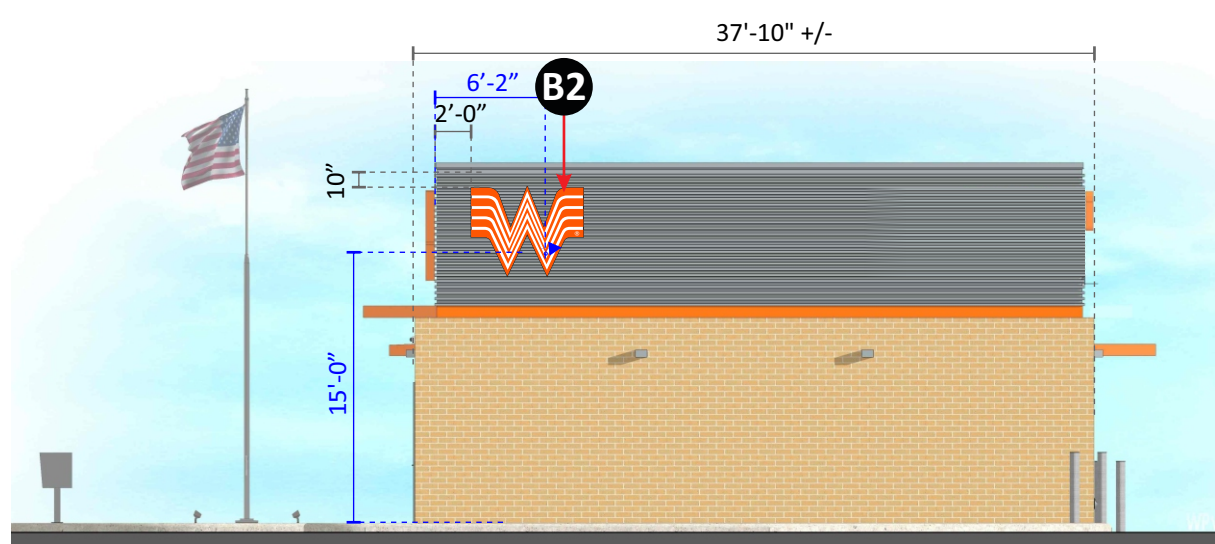
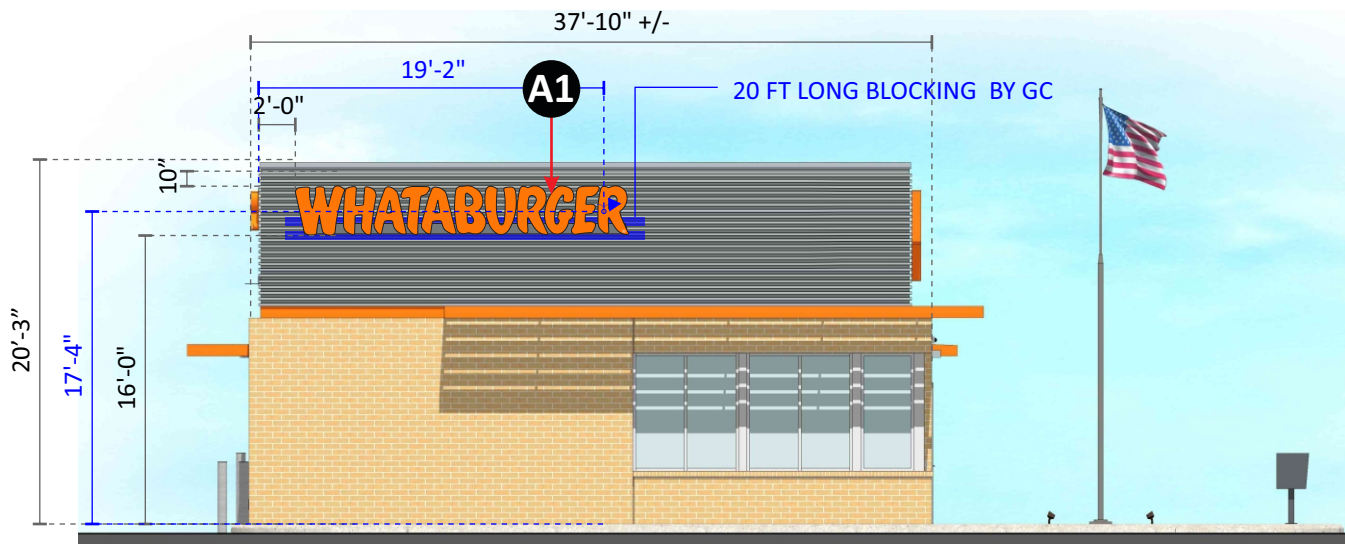
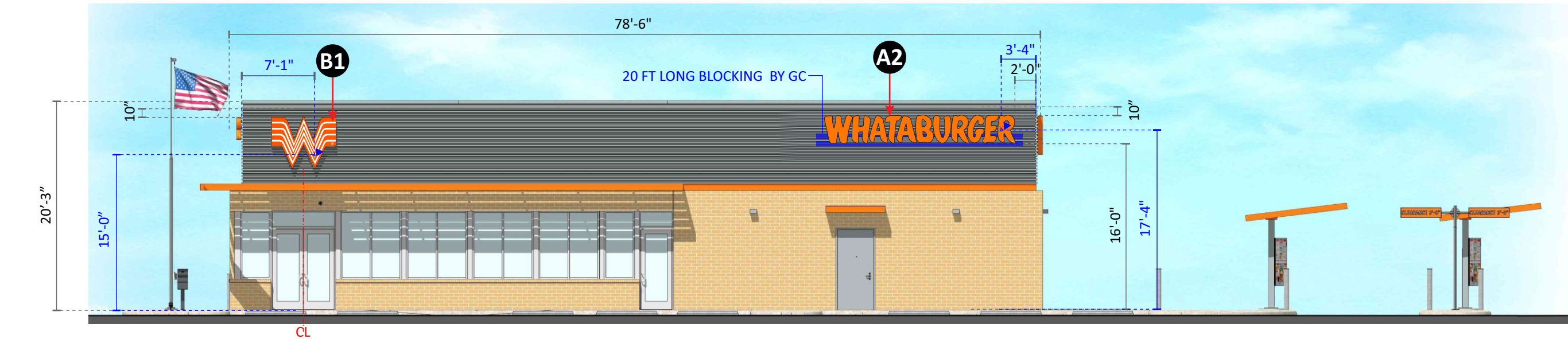
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Page 1 of 6





SCALE 3/32" = 1'-0"

Project ID
0641472AR6

Whataburger
6521 Ringgold Rd
East Ridge, TN

Date: 1-13-2025
SALES: DEBBIE MOLTZ
PM: MEGAN AUDERER
Designer: INES HERRASTI

Revision Note

A1,A2 Building
30' WHATABURGER letters on front and drive thru elevation
B1-B3 - Building 60" W logos on Entry, back and drive thru elevations.
Back Elevation - move logo to left side of wall
Drive Thru Elevation- install on far left side of wall
C-Monument
7' OAH monument with 5'x 4' cut away top, brick base below.
Installed at main entry driveway
D-Pylon- 30' OAH pylon sign with 12' x 9' main id and 5' x 8' marquee sign below. installed along Ringgold Rd. See site plan for placement
R1(1-17-25)H: Update site plan - see art reference folder.
C - monument - Revise to wb id and marquee side by side option. OAH @ 9'. Note new location on monument on site plan
D - Pylon - Delete from sign package (Short pylon - rename e tall pylon to D)
R2(1-23-25)H: Update elevations and site plan- see 1-23-25 art reference folder
A2- Building - Move to entry elevation on right end of wall
R3(1-27-25)H: page 1- move monument to be 15' from ROW. currently 12'-7".
Increase base so 3' so OAH is 12'
R4(1-29-25)H: SIGN ID:
C-Monument
Opt.2 - Please show stacked option for monument with 12' OAH. Cannot exceed 48 sq ft.
R5(2-4-25)H: Page 1 - remove second option monument and "proposed monument sign" call out
C-Monument
Delete option 2
option 1 - increase height of marquee so the cabinet lined up with top of Whataburger cabinet. Pull in brick base 6" on each side.
R6(2-10-25)H: Page 1 - delete "Proposed monumt sign" and "Proposed 30' high pylon sign" call outs on the site plan
C-Monument- break up the brick change reveal detail

Customer Approval

Signature

MM/DD/YYYY

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It is the Customer's responsibility to ensure that the sign installation location is suitable to accept and support the installation of the signs being ordered. Notify Pattison ID immediately if further details are required.

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Page 2 of 6





DANGER!
INTERNAL ENERGIZED PARTS
TURN OFF POWER AT
BREAKER PANEL

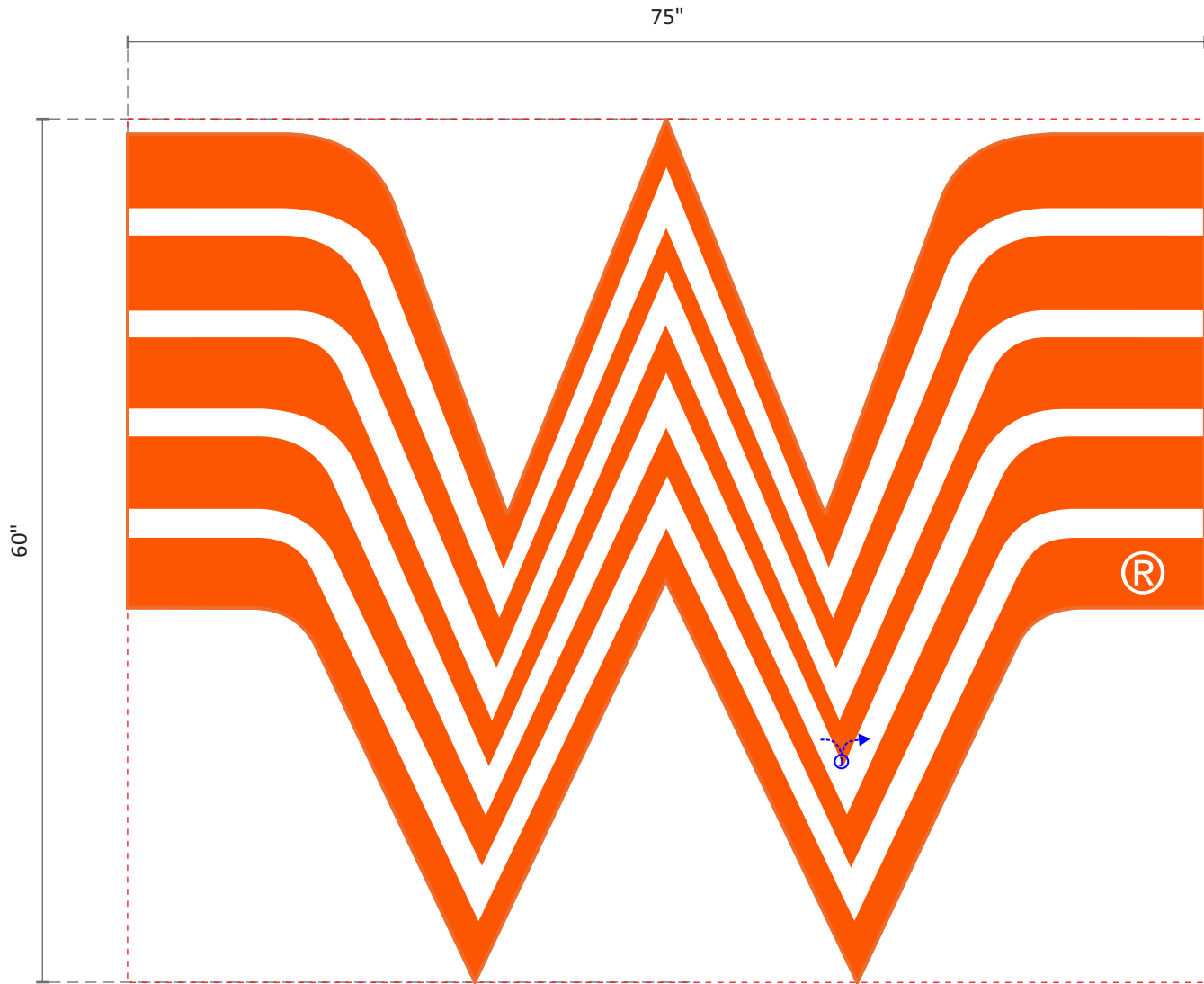
POWER SOURCE FOUND
FLOOR _____
BREAKER PANEL _____
BREAKER # _____

**WARNING LABEL / BREAKER LOCATION,
LOCK-OUT / TAG-OUT
GUARD.**

**WEATHERPROOF 2-
POLE TOGGLE SWITCH
WITH HANDY BOX BEHIND.**

DANGER!
LEARN ADVISED PERSONNEL
ONLY
BREAKER # _____
LOCATION _____

2014 / 2017 NEC COMPLIANT SWITCH / LABEL



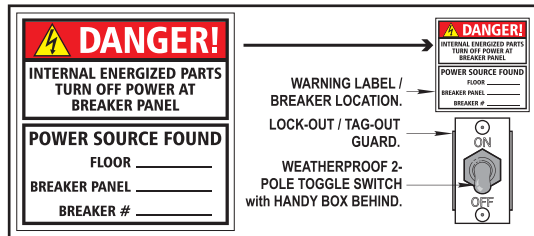
B1 B2 B3

60" PCL-LOGO

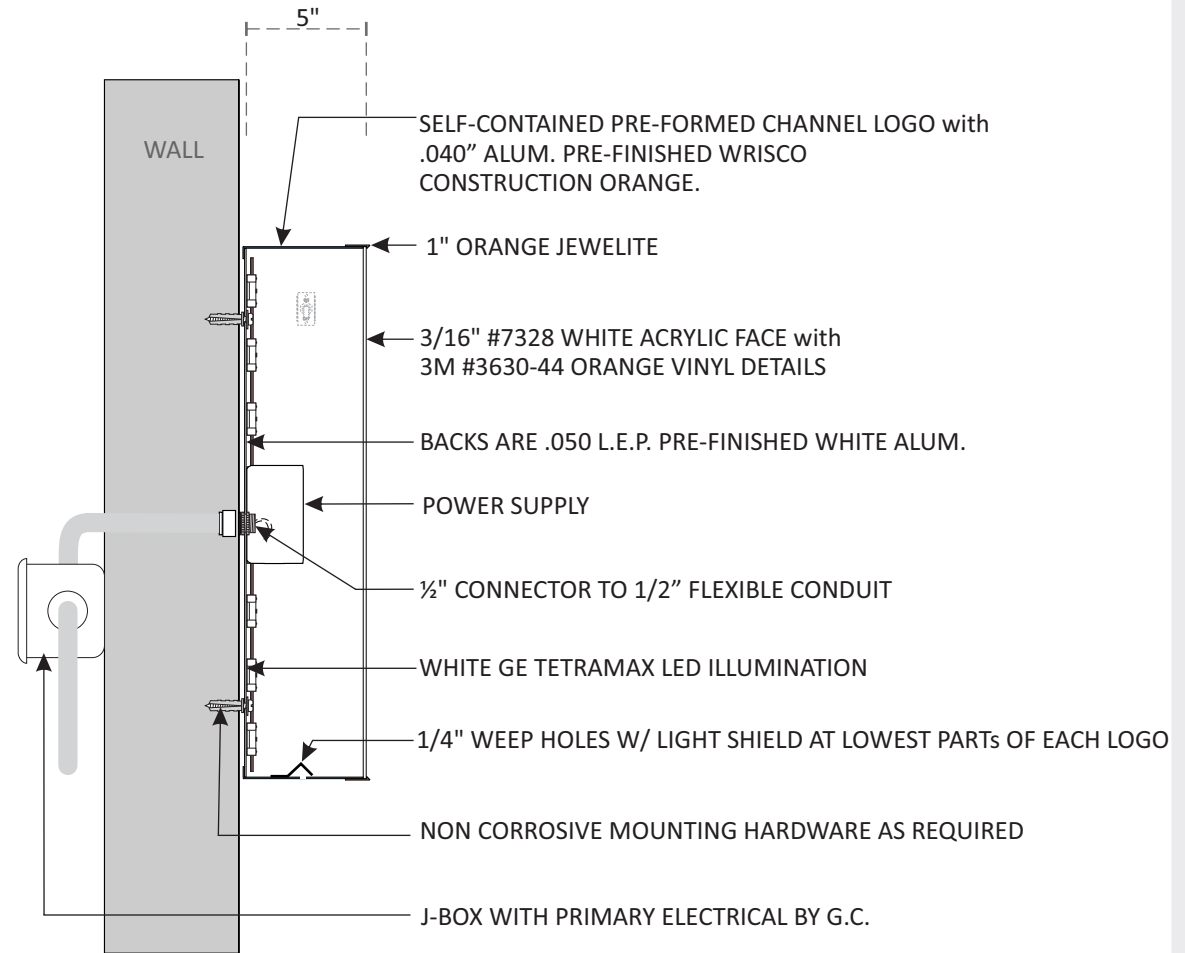
THREE (3) REQUIRED - MANUFACTURE AND INSTALL

SCALE: 1" = 1'-0"

31.25 SQ. FT.



2014 / 2017 NEC COMPLIANT SWITCH / LABEL



LETTER SECTION
SELF-CONTAINED

Project ID
0641472AR6

Whataburger
6521 Ringgold Rd
East Ridge, TN

Date: 1-13-2025
SALES: DEBBIE MOLTZ
PM: MEGAN AUDERER
Designer: INES HERRASTI

Revision Note

A1,A2 Building
30' WHATABURGER letters on front and drive thru elevation
B1-B3 - Building 60\"/>

Customer Approval

Signature

MM/DD/YYYY

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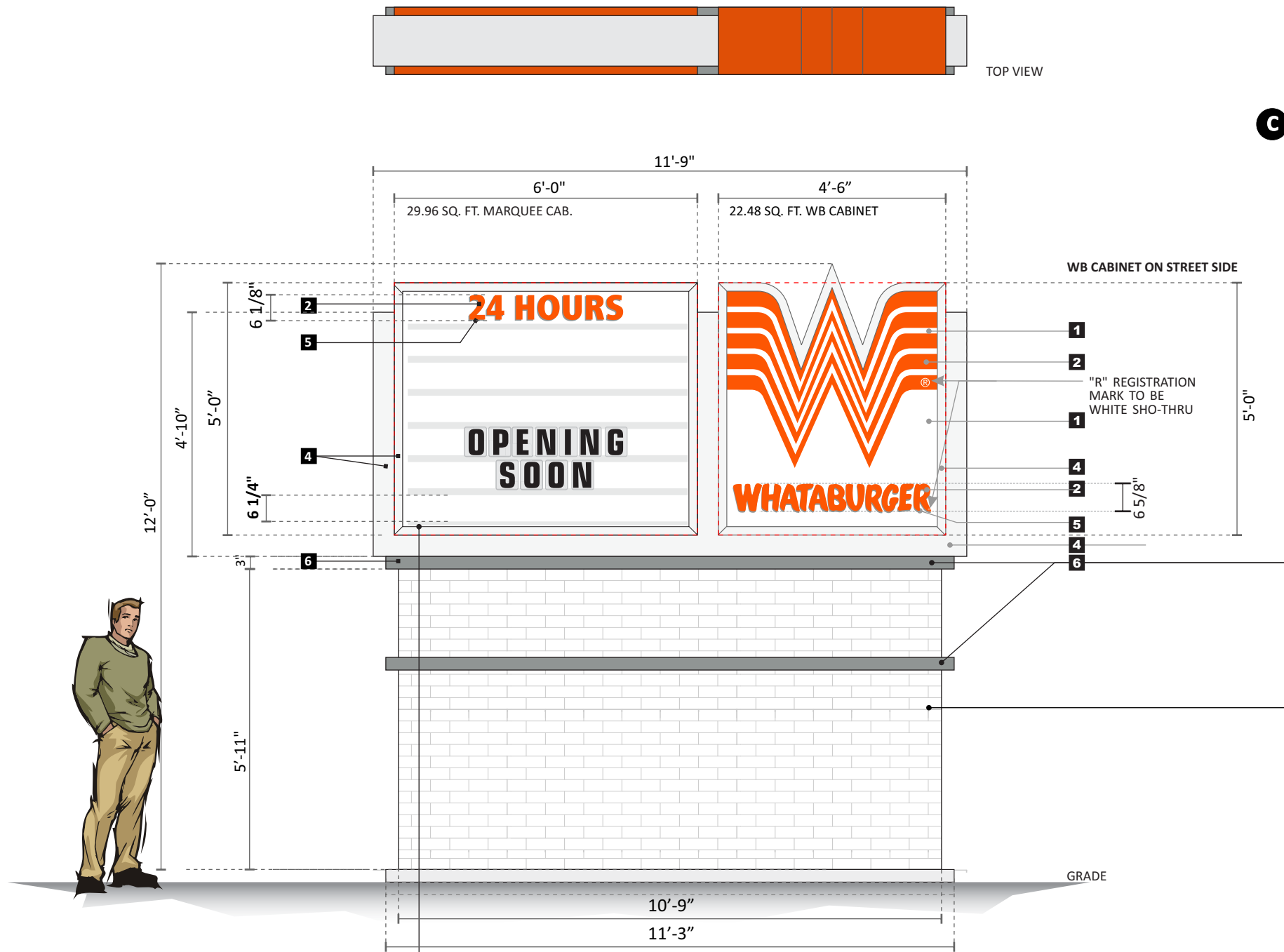
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Page 4 of 6





TOP VIEW

C D/F MONUMENT SIGN SCALE: 3/8"=1'-0"
ONE (1) REQUIRED - MANUFACTURE AND INSTALL

D/F ALUM. CABINET - .063" FILLERS WITH 2" RETAINERS.
SG ACRYLIC FACES WITH APPLIED 1ST SURFACE 3M VINYL GRAPHICS.

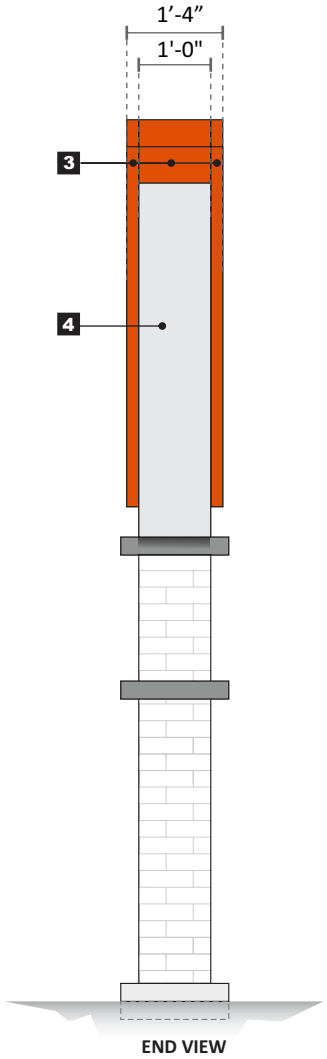
INTERNALLY ILLUMINATED WITH WHITE L.E.D.
DISPLAY TO HAVE ON/OFF SERVICE SWITCHES
U.L. LABELS REQUIRED. LABELS TO BE ATTACHED IN VISIBLE AREA, DIRECTLY BELOW ON/OFF SWITCH

TWO STEEL SUPPORTS WITH CONCRETE PIER
PAINTED ALUM, CABINET
PAINTED ALUM. SQ TUBE DECOR CAPS

BASE:
FABRICATED SQ. TUBE FRAME WITH 3/4" PRESSURE TREATED PLYWOOD BLOCKING WITH 1/2" THK. CEMENT BACKER BOARD BY CHANDLER SIGNS.

CONCRETE PAD BY CHANDLER SIGNS .

NOTE: STEEL AND FOUNDATION FOR SIGN TO BE DETERMINED BASED ON SITE SPECIFIC BASIS, LOCAL SOIL CONDITIONS AND WIND LOAD REQUIREMENTS.



END VIEW

COLOR SCHEDULE	
1	3/16" WHITE SG ACRYLIC FACES
2	3M 3630-44 ORANGE VINYL
3	P.T.M. P.M.S. 1665C ORANGE.
4	SPRAYLAT MARK 1: SM-102S SATIN WHITE
5	3M 3630-51 SILVER GRAY VINYL
6	P.T.M. P.M.S. 430 GRAY

ONE (1) D/F ALUM. CABINET READER BOARD.
PAINTED 2" RETAINERS.
3/16" SG ACRYLIC FACES WITH 1st SURFACE VINYL COPY READING "24 HOURS".
INTERNALLY ILLUMINATED WITH WHITE L.E.D.
HINGED PROTECTIVE CLEAR FACE.
CLEAR TRACKS FOR ZIP LETTERS.
250 COUNT "MODERN ECONO" BLACK ZIP CHANGE LETTER FONT PACKAGE AND STORAGE CABINET.

6 1/4" OPENING FOR 4 LINES OF
6" COPY on 7" PANELS ZIP CHANGE LETTERS.

NOTE TO INSTALLER:
- INSERT COPY ON MARQUEE PER SHOWN LAYOUT TO ENSURE PROPER FIT.

BY GENERAL CONTRACTOR

G.C. TO PROVIDE PRIMARY ELECTRICAL

GEN. CONTRACTOR TO PROVIDE AND INSTALL STANDARD MODULAR BRICK TO MATCH BUILDING. (NOT INCLUDED BY CS) BRICK DIMENSIONS PER GEN. CONTRACTOR;
3 5/8" X 2 1/4" X 7 5/8".

Project ID
0641472AR6

Whataburger
6521 Ringgold Rd
East Ridge, TN

Date: 1-13-2025
SALES: DEBBIE MOLTZ
PM: MEGAN AUDERER
Designer: INES HERRASTI

Revision Note

A1,A2 Building
30' WHATABURGER letters on front and drive thru elevation
B1-B3 - Building 60" W logos on Entry, back and drive thru elevations.
Back Elevation - move logo to left side of wall
Drive Thru Elevation- install on far left side of wall
C-Monument
7' OAH monument with 5'x 4' cut away top, brick base below.
Installed at main entry driveway
D Pylon- 30' OAH pylon sign with 12' x 9' main id and 5' x 8' marquee sign below. installed along Ringgold Rd. See site plan for placement

R1(1-17-25)H: Update site plan - see art reference folder.
C - monument - Revise to wb id and marquee side by side option. OAH @ 9'. Note new location on monument on site plan
D - Pylon - Delete from sign package (Short pylon - rename e tall pylon to D)

R2(1-23-25)H: Update elevations and site plan- see 1-23-25 art reference folder
A2- Building - Move to entry elevation on right end of wall
R3(1-27-25)H: page 1- move monument to be 15' from ROW. currently 12'-7".
Increase base so 3' so OAH is 12'
R4(1-29-25)H: SIGN ID:
C Monument
Opt 2 - Please show stacked option for monument with 12' OAH. Cannot exceed 48 sq ft.

R5(2-4-25)H: Page 1- remove second option monument and "proposed monument sign" call out
C-Monument
Delete option 2
option 1 - increase height of marquee so the cabinet lines up with top of Whataburger cabinet. Pull in brick base 6" on each side.

R6(2-10-25)H: Page 1- delete "Proposed monumt sign" and "Proposed 30' high pylon sign" call outs on the site plan
C- Monument- break up the brick change reveal detail

Customer Approval

Signature

MM/DD/YYYY

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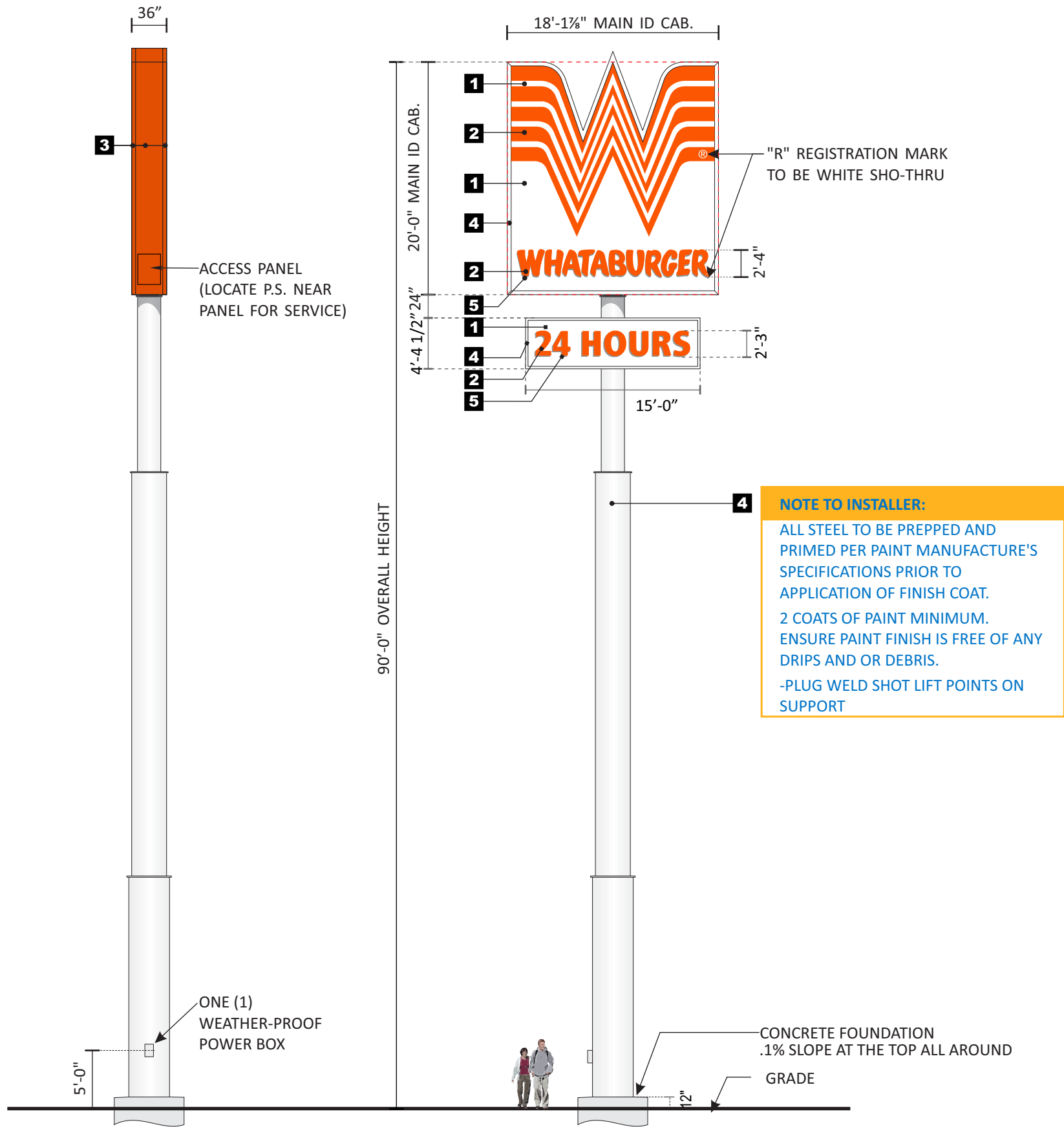
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D D/F PYLON SCALE: 3/32"=1'-0"

ONE (1) REQUIRED - MANUFACTURE AND INSTALL

ONE (1) D/F MAIN I-D CABINET
FABRICATED .063" ALUMINUM CABINET WITH 4"x 4" RETAINERS.
FLEX FACES ON ANGLE IRON FRAME WITH 3M CLIPS.
3M TRANSLUCENT VINYL GRAPHICS
INTERNALLY ILLUMINATED WITH WHITE L.E.D.

ONE (1) D/F CABINET READING "24 HOURS"
FABRICATED .063" ALUMINUM CABINET WITH 2"x 4" RETAINERS
FLEX FACES ON ANGLE IRON FRAME WITH CLIPS.
3M TRANSLUCENT VINYL COPY
INTERNALLY ILLUMINATED WITH WHITE L.E.D.
ONE STEEL SUPPORT WITH CONCRETE PIER

COLOR SCHEDULE	
1	3M WHITE FLEX FACES
2	3M 3630-44 ORANGE VINYL
3	P.T.M. P.M.S. 1665C ORANGE.
4	WHITE
5	3M 3630-51 SILVER GRAY VINYL
CABINET - ORANGE AND WHITE	
AKZONOBEL EFX SATIN FINISH.	
POLE - VALSPAR INDUSTRIAL PAINT.	

NOTE: STEEL AND FOUNDATION FOR SIGN TO BE DETERMINED
BASED ON SITE SPECIFIC BASIS, LOCAL SOIL CONDITIONS AND
WIND LOAD REQUIREMENTS.

Project ID
0641472AR6

Whataburger
6521 Ringgold Rd
East Ridge, TN

Date: 1-13-2025
SALES: DEBBIE MOLTZ
PM: MEGAN AUDERER
Designer: INES HERRASTI

Revision Note

A1,A2 Building
30' WHATABURGER letters on front and drive thru elevation
B1-B3 - Building 60" W logos on Entry, back and drive thru
elevations.
Back Elevation - move logo to left side of wall
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marquee sign below. installed along Ringgold Rd. See site plan
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currently 12'-7".
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C- Monument- break up the brick
change reveal detail

Customer Approval

Signature

MM/DD/YYYY

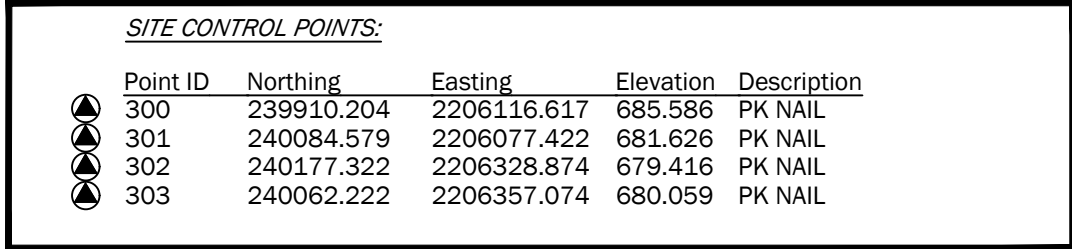
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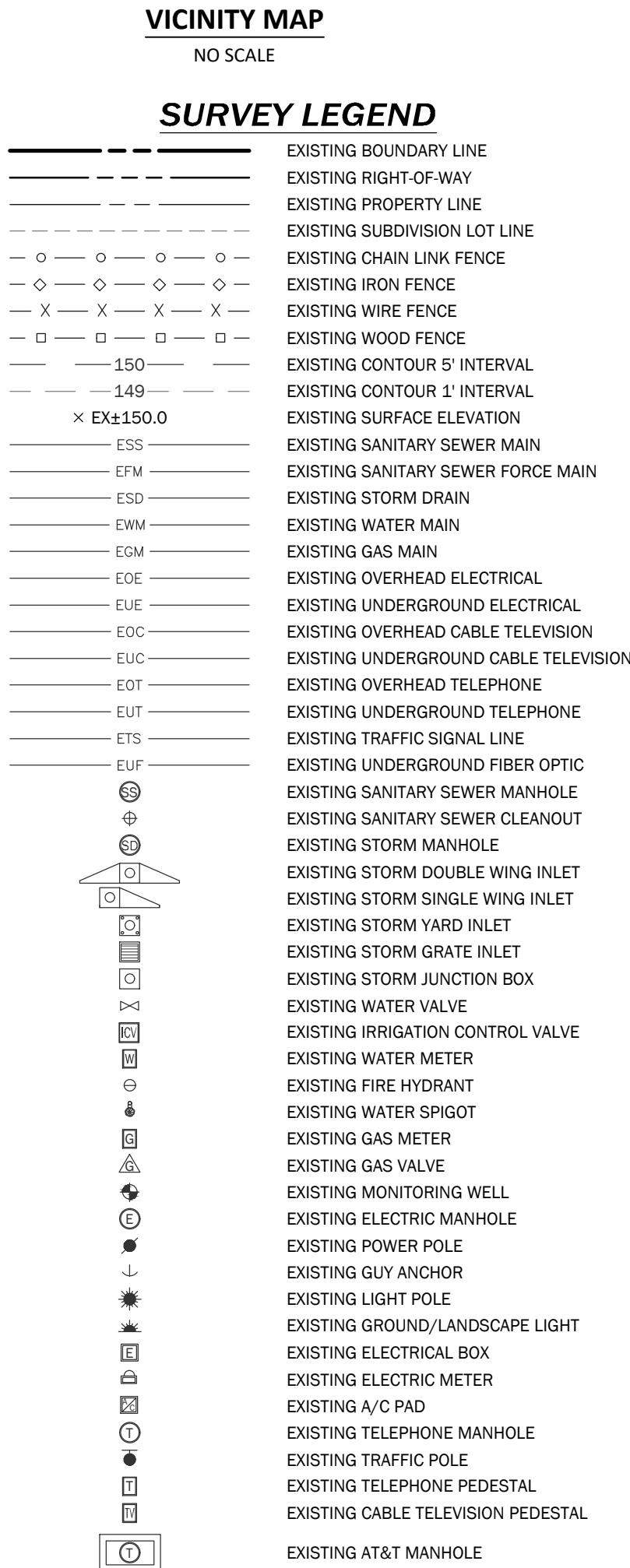
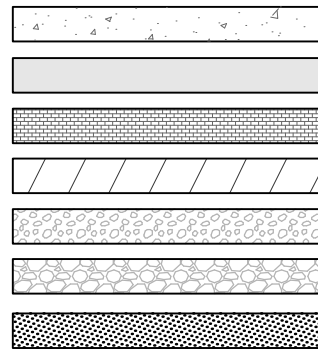




I hereby certify that this is a Category 1 Survey and was done in compliance with the Rules of Tennessee State Board of Examiners for Land Surveyors Chapter (0820-03) Standards of Practice and (0820-03-.07) Survey Types and Requirements. The ratio of precision for this unadjusted survey is greater than 1:10,000 as shown hereon.

For topographic of this survey, RTK GPS positional data was observed on/between the dates of 11-26-2024 utilizing a Leica GS 18 dual frequency receiver. The grid coordinates of the Fixed Station(s) shown were derived using a VRS network of CORS stations referenced to NAD 83 (2011) (Epoch 2010) Geoid 12b (Conus).

Combined Grid Factor: Automated Mapping Plane



Sheet No
1

6521 Ringgold Road
Chattanooga, Hamilton County, Tennessee

TTL

3516 Greensboro Avenue | Tuscaloosa, AL 35401
205.345.0816 | www.ttllusa.com


RESOLUTION NO. 3677

AGENDA MEMORANDUM

USE ON REVIEW

Date: April 24th, 2025

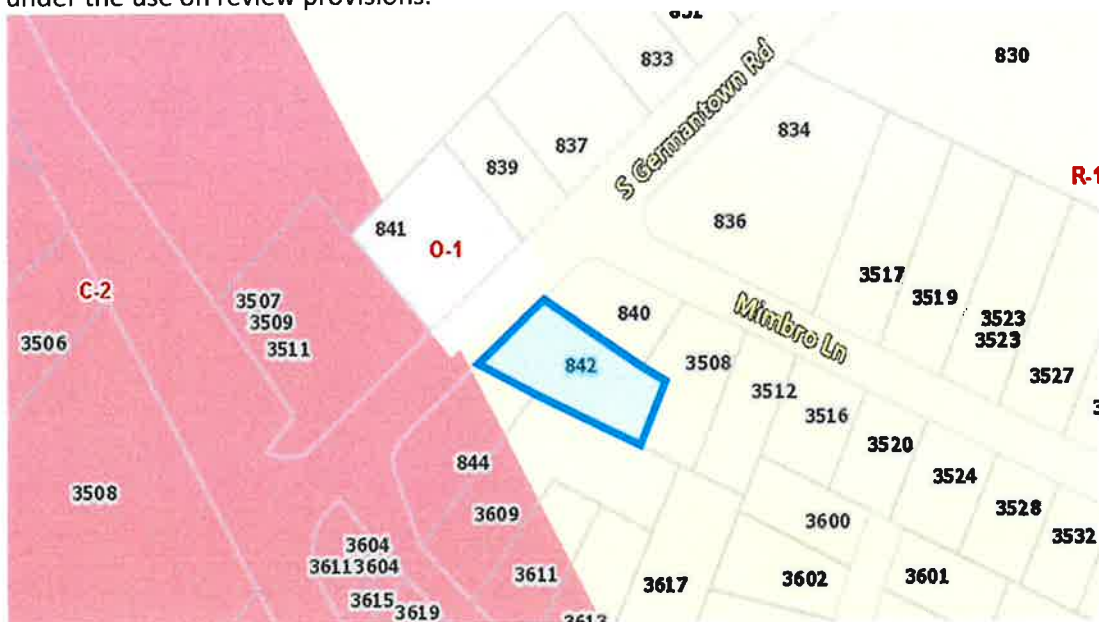
Submitted by:


Michael Howell, Chief Building Official

SUBJECT:

Aline Defiglia is requesting the City Council's approval to operate a medical clinic at 842 S Germantown Rd, which is zoned R-1 Residential District. The use of a medical clinic is permitted on review within R-1 residential districts, allowing professional medical and dental services, as well as clinics.

The parcel at 842 Germantown Rd is adjacent to both commercial and residential areas. Previously, this location was occupied by TLC (Talk Listen & Communicate LLC) and, most recently, it received approval from the City Council to operate as a Montessori school under the use on review provisions.



RESOLUTION NO. 3677

A RESOLUTION OF THE CITY COUNCIL FOR THE CITY OF EAST RIDGE, TENNESSEE, APPROVING A REQUEST TO OPERATE A MEDICAL CLINIC AT THE PROPERTY LOCATED AT 842 SOUTH GERMANTOWN ROAD, LOCATED WITHIN THE R-1 RESIDENTIAL DISTRICT

WHEREAS, Aline Defiglia has petitioned the City Council, pursuant to and in conformity with the Zoning Ordinance and Regulations of the City of East Ridge, for approval to operate a medical clinic at the property located at 842 South Germantown Road; and

WHEREAS, the subject property is currently zoned R-1 Residential District, which allows for certain uses on review, including professional medical and dental services, as well as clinics; and

WHEREAS, the property at 842 South Germantown Road is situated in an area that includes both residential and commercial uses, making the proposed medical clinic an appropriate transitional use for the location; and

WHEREAS, the City Council has determined that such use is appropriate and desirable pursuant to and in conformity with the Zoning Ordinance and Regulations of the City of East Ridge.

NOW, THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF EAST RIDGE, TENNESSEE, AS FOLLOWS:

Section 1. The City Council finds that the proposed use of the tract of land as a medical clinic at 842 South Germantown Road is consistent with the plans and policies of the City. The proposed use is also in harmony with the general purpose and intent of the City's zoning ordinance and regulations. The proposed use is compatible with the character of the neighborhood and will not significantly injure the value of adjacent property by noise, lights, fumes, odors, vibrations, traffic congestion or other impacts. The proposed use will not detract from the immediate environment and poses no potential hazard for further uses in the immediate vicinity.

Section 2. This passage of this Resolution is subject to the following conditions:

- (a) Aline Defiglia shall comply with all applicable provisions of the City's Zoning Ordinance and Regulations, including any local, state, and federal requirements.

Section 3. The proposed use as a medical clinic is hereby approved.

BE IT FURTHER RESOLVED that this resolution shall take effect immediately after its passage, the public welfare of the City requiring it.

Adopted this _____ day of _____ 2025.

Brian W. Williams, Mayor

ATTEST:

J. Scott Miller, City Manager

APPROVED AS TO FORM:

Mark W. Litchford, City Attorney

PROPERTY OWNER'S PERMISSION LETTER

TO: Aline Defiglia

FROM: East Lake Montessori

PROPERTY: 842 S Germantown Chattanooga, TN 37412

Date: 3/18/2025

Dear Aline,

On behalf of East Lake Montessori, I hereby grant you full permission to apply for rezoning, use on review, or any other necessary land use approvals or permits with the City of Chattanooga and the City of East Ridge, as required, in connection with your intended use of the property. This permission includes, but is not limited to, applications to the relevant departments, hearings, and approvals needed for any modifications to the current zoning or land use status of the property.

This authorization is granted with the understanding that you, the buyer, will be solely responsible for any fees, processes, and actions necessary to pursue these applications. The City of Chattanooga and the City of East Ridge may require additional documentation, and I, as the property owner, will cooperate in providing any information or signatures as needed to facilitate these processes.

Sincerely,

Signed by:

B04BFC11C308472...

Jenny Varner

East Lake Montessori

Head of School

3/20/2025 | 14:45 EDT

USE-25-2

Use On Review
Status: Active
Submitted On: 3/21/2025

Primary Location

842 S GERMANTOWN RD
East Ridge, TN 37412

Owner

East Lake Montessori
CHATTANOOGA, TN

Applicant

 Aline Defiglia
 770-894-9693
 ascendcoaching.aline@gmail.com
 4127 Briar Street
Chattanooga, TN 37412

Applicant Information**Applicant Name***

Aline Defiglia

Applicant Address*

4127 Briar St Chattanooga TN 37412

Applicant Phone Number*

770-894-9693

Email*

ascendcoaching.aline@gmail.com

Property Information**Property Address***

842 S. Germantown Rd Chattanooga TN 37412

Tax Parcel Number*

168D H 006

Requested Use on Review Brief description*

This property is currently owned by East Lake Montessori and is under contract to be purchased by Aline Defiglia, a resident of East Ridge. The intended use is as an outpatient, medical professional building housing Aline's private mental health practice, Ascend Coaching and Therapy Inc, and leased to other health professional tenants such as massage therapists, doctors, nurse practitioners, mental health therapists, etc. The main floor, with four private offices, will be converted to ADA accessible. The basement will also be ADA accessible and used for medical and professional group meetings and/or educational purposes. The top floor will have two private offices for a total of six private offices in the top two floors.

Use on Review Requested*

Zoning District Use

Property Zoning*

R-1

A map showing location of property, all adjacent streets and/or rights-of-way, property boundaries, and frontages should be included with this application. Such information is obtainable at <http://gis.hamiltontn.gov/mapmaker/home.asp>

Proof of Ownership of the property must be included with application.

Use additional sheet to attach any comments on case background or information that are pertinent to this application.

Internal Use Only

 Current Date


—

 Decision

—

 Resolution Number

 Date Submitted

 Date of Decision

All signs permitted must be completed within six (6) months or the permit is revoked.

 City Council Findings

 Address

Attachments



Map showing location of property, all adjacent streets and/or rights-of-way, property boundaries, and frontages

Zoning Map 842 S. Germantown.pdf

Uploaded by Aline Defiglia on Mar 20, 2025 at 2:26 PM



Proof of Ownership

REQUIRED

Rezoning Property Owner's Permission Letter (Signed 3-20-2025) - Aline Defiglia - 842 South Germantown Road.pdf

Uploaded by Aline Defiglia on Mar 21, 2025 at 4:34 PM



Owner's Signature

Rezoning Property Owner's Permission Letter (Signed 3-20-2025) - Aline Defiglia - 842 South Germantown Road.pdf

Uploaded by Aline Defiglia on Mar 21, 2025 at 4:34 PM



Commercial Zones.pdf

Commercial Zones.pdf

Uploaded by Aline Defiglia on Apr 3, 2025 at 9:47 AM



c2_general_commercial_district

c2_general_commercial_district.pdf

Uploaded by Michael Howell on Apr 3, 2025 at 12:03 PM

Record Activity

Aline Defiglia started a draft Record

03/20/2025 at 2:10 pm

Aline Defiglia added file Zoning Map 842 S. Germantown.pdf

03/20/2025 at 2:26 pm

Aline Defiglia added file Rezoning Property Owner's Permission Letter (Signed 3-20-2025) - Aline Defiglia - 842 South Germantown Road.pdf

03/21/2025 at 4:34 pm

Aline Defiglia added file Rezoning Property Owner's Permission Letter (Signed 3-20-2025) - Aline Defiglia - 842 South Germantown Road.pdf

03/21/2025 at 4:34 pm

Aline Defiglia submitted Record USE-25-2

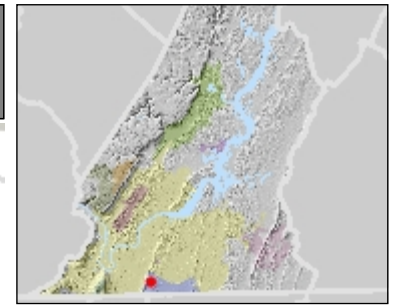
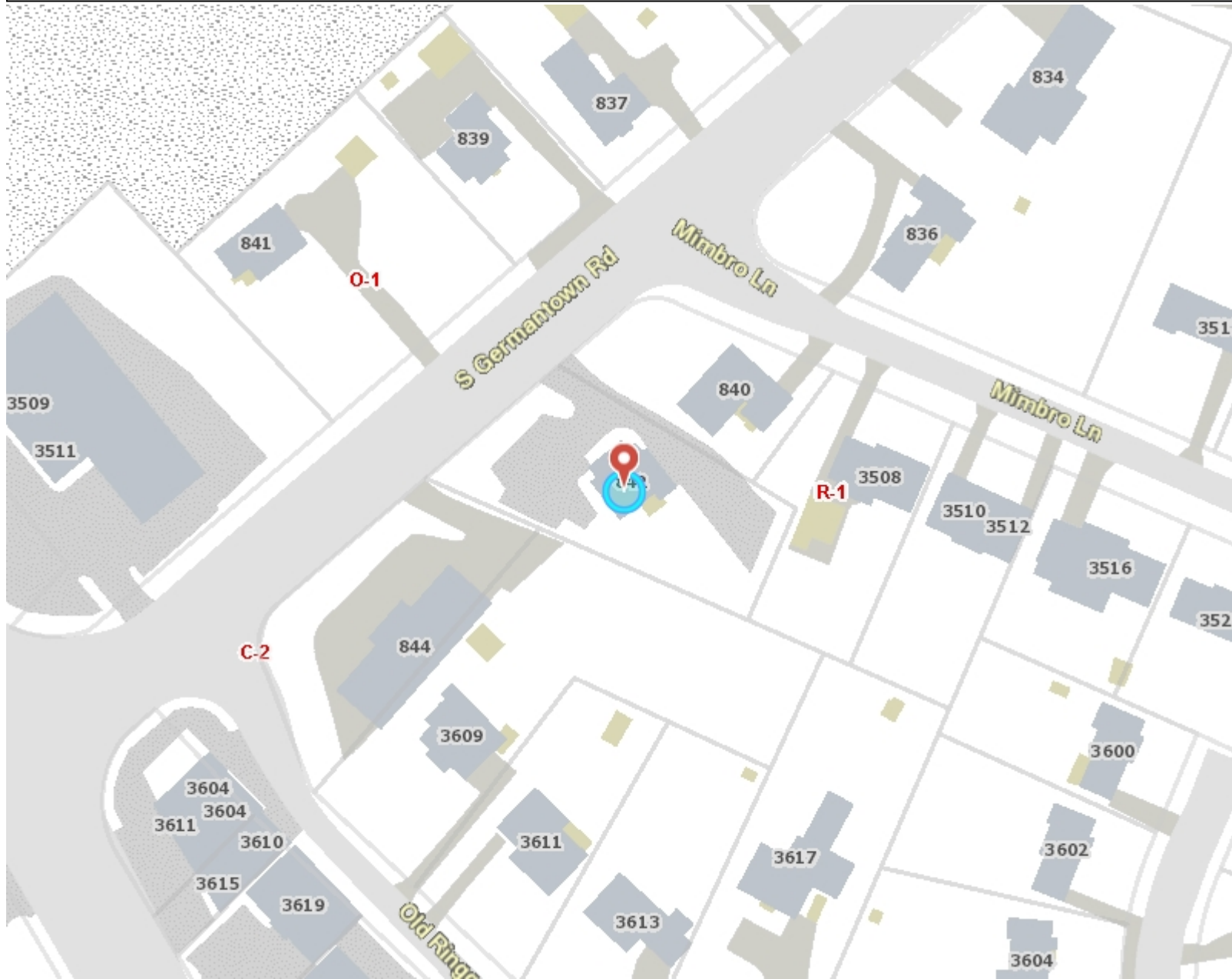
03/21/2025 at 4:35 pm

OpenGov system altered approval step Intake Review, changed status from Inactive to Active on Record USE-25-2	03/21/2025 at 4:35 pm
OpenGov system assigned approval step Intake Review to Melissa Mahoney on Record USE-25-2	03/21/2025 at 4:35 pm
Melissa Mahoney reassigned approval step Intake Review from Melissa Mahoney to Michael Howell on Record USE-25-2	03/24/2025 at 8:50 am
Melissa Mahoney approved approval step Intake Review on Record USE-25-2	03/24/2025 at 9:50 am
OpenGov system altered payment step Application Fee, changed status from Inactive to Active on Record USE-25-2	03/24/2025 at 9:50 am
OpenGov system completed payment step Application Fee on Record USE-25-2	03/24/2025 at 3:11 pm
OpenGov system altered approval step Council Decision, changed status from Inactive to Active on Record USE-25-2	03/24/2025 at 3:11 pm
OpenGov system assigned approval step Council Decision to Michael Howell on Record USE-25-2	03/24/2025 at 3:11 pm
Aline Defiglia added file Commercial Zones.pdf to Record USE-25-2	04/03/2025 at 9:47 am
Michael Howell added file c2_general_commercial_district.pdf to Record USE-25-2	04/03/2025 at 12:03 pm

Timeline

Label	Activated	Completed	Assignee	Due Date	Status
✓ Intake Review	3/21/2025, 4:35:02 PM	3/24/2025, 9:50:46 AM	Michael Howell	-	Completed
💰 Application Fee	3/24/2025, 9:50:47 AM	3/24/2025, 3:11:03 PM	Aline Defiglia	-	Completed
✓ Council Decision	3/24/2025, 3:11:03 PM	-	Michael Howell	-	Active
📄 Decision Letter	-	-	-	-	Inactive

GISMO 5



Legend

- Address Labels
- Parcels
- Zoning_Collegedale
 - AG
 - C-1
 - C-2
 - C-3
 - I-1
 - MU-BC
 - MU-TC
 - PCD
 - PRD
 - R-1-H
 - R-1-L
 - R-1-T
 - R-2
 - R-3
 - U-1
- ☒ Zoning_RevCond_RedBank
- Zoning_RedBank
 - C-1
 - C-2
 - C-3
 - L-1
 - M-1
 - R-1
 - R-2
 - R-3
 - R-4
 - R-TZ
 - R1-A
 - RT-1
 - RZ-1
- Zoning_Soddy Daisy
 - A-1
 - C-2
 - C-3
 - M-1
 - M-2
 - O-1
 - MH
 - R-1
 - R-2
 - R-2A
 - R-3
 - R-3MD

0 100.00 200.0Feet

NAD_1983_StatePlane_Tennessee_FIPS_4100_Feet
© Latitude Geographics Group Ltd.



Disclaimer: This map is to be used for reference only, and no other use or reliance on the same is authorized. This map was automatically generated using HCGIS Mapping System. Parcel lines are shown for reference only and are not intended for conveyances, nor is it intended to substitute for a legal survey or property abstract.

RESOLUTION NO. 3678

AGENDA MEMORANDUM
Concession and Refreshment Services
April 24th, 2025

Submitted By:

Shawwna Skiles

Shawwna Skiles, Parks and Recreation Director

SUBJECT: Concession Stand Operations Proposals for Camp Jordan Park and East Ridge Community Center

On Wednesday, April 16th, 2025, the Parks and Recreation Department opened proposals for the concession stand operations at Camp Jordan Park and the East Ridge Community Center. Two proposals have been received, and the staff recommends awarding WWRD Concessions a two-year contract for the operations at both locations.

Proposal Tabulations:

- **WWRD Concessions:** Gross percentage amount of 25% meets all proposal specifications.
- **Asfand Sheikh/Sweet Treats Ice Cream & Milkshakes:** Commission based on gross sales (to be determined during contract negotiations) or a flat annual lease payment meets all proposal specifications.

SS

Attachment included

RESOLUTION NO. 3678

**A RESOLUTION OF THE CITY COUNCIL OF THE CITY
OF EAST RIDGE, TENNESSEE, APPROVING THE
PROPOSAL FOR THE OPERATION OF FOOD AND
REFRESHMENT CONCESSIONS FOR THE EAST RIDGE
PARKS AND RECREATION DEPARTMENT**

WHEREAS, the City of East Ridge issued a request for proposals to the public for the operation of food and refreshment concessions for the Parks and Recreation Department at one (1) concession at Camp Jordan Arena, six (6) concessions at Camp Jordan Sports Complex, and one (1) concession at the East Ridge Community Center; and

WHEREAS, sealed proposals were opened and publicly read on April 16, 2025, at 2:30 p.m., at East Ridge City Hall; and

WHEREAS, after reviewing the proposals, City staff recommend awarding the concessions operations contract to WWRD Concessions, whose proposal includes a return of twenty-five percent (25%) of gross sales to the City of East Ridge.

NOW, THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF EAST RIDGE, TENNESSEE, that the proposal submitted by WWRD Concessions, providing for a return of twenty-five percent (25%) of gross sales to the City, is hereby approved for the operation of food and refreshment concessions for the East Ridge Parks and Recreation Department at one (1) concession at Camp Jordan Arena, six (6) concessions at Camp Jordan Sports Complex, and one (1) concession at the East Ridge Community Center.

BE IT FURTHER RESOLVED that this resolution shall take effect immediately after its passage, the public welfare of the City requiring it.

Adopted this _____ day of _____ 2025.

Brian W. Williams, Mayor

ATTEST:

J. Scott Miller, City Manager

APPROVED AS TO FORM:

Mark W. Litchford, City Attorney

Vanessa Henry

Owner, WWRD Concessions LLC.

February,26,2025

City of East Ridge/ Parks and Recreation Department

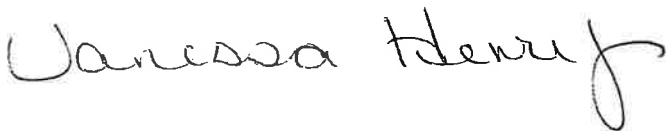
I am writing to express my sincere interest in establishing a business venture with concessions at Camp Jordan. As someone deeply inspired by the life and legacy of Randy Carpenter, I am committed to keeping his memory alive through a sustainable and impactful business initiative.

For the past 12 years, I have worked alongside Randy in concessions as his right-hand person, ensuring the success of the business. In continuing his work, I plan to always give my best and work diligently to become the person Randy believed I could be. I am confident that with his family's support, and standing by me. We can create a thriving business that will honor his memory.

As a highly motivated and dedicated individual, I believe my skills and experience will be a valuable asset to this endeavor. I am excited about the opportunity to preserve Randy's legacy and make a positive impact at Camp Jordan.

Thank you for considering my interest. I look forward to the possibility of collaborating to carry forward Randy's incredible work.

Sincerely,

A handwritten signature in cursive script that reads "Vanessa Henry". The signature is written in dark ink and is positioned above the printed name and title.

Owner, of WWRD Concessions LLC.

MENU

BBQ Nachos.....\$7.00

(Cheese,BBQ,BBQ Sauce,Peppers)

BBQ Sandwich.....\$6.50

Add Extra BBQ.....\$3.00

Hamburger.....\$6.00

Cheeseburger.....\$6.50

Frito Pie.....\$5.00

Nachos w/ Cheese.....\$4.50

Add Chili,Cheese,Peppers.... \$1.00 each

Hot Dog\$3.75

Popcorn\$3.50

All Candy.....\$3.00

Sunflower Seeds.....\$2.50

Crackers..... \$2.00

Cookies.....\$2.50

Pickles.....\$2.50

Chips.....\$1.75

Ring Pop.....\$1.75

Suckers..... .50

Gum..... 2/.25

Fountain Drinks.....\$3.50

Dasani Water.....\$3.00

Powerade.....\$3.50
Coffee.....one size...\$2.50
Hot Chocolate.....one size...\$2.50
Cup of Ice.....\$1.00

Qualifications:

With 12 years of experience at Family Concessions, I have developed strong skills in event operations, staffing management, and problem-solving.

With Family Concessions, I was responsible for ensuring all stands and events were appropriately staffed, troubleshooting any issues that arose, and overseeing inventory and stocking when needed. When Randy was unavailable, I took charge of inventory management, ensuring that all stands were fully stocked and ready for the next event. Additionally, I made sure that everything was cleaned and properly put away to maintain a smooth and organized operation.

I take pride in my ability to handle multiple responsibilities efficiently, work well under pressure, and ensure that everything runs seamlessly.

Inventory List

Each Concession stand will come fully Equipped with the following.

- 1. Microwave**
- 2. (2) Steam Warmers (all pans,lids,utensil)**
- 3. (1) Coffee Maker an 3 coffee pots**
- 4. Popcorn Machine**
- 5. Hot Dog Roller**
- 6. Nacho Warmer**
- 7. (2) Stainless Steel Tables (Soccer will have 3)**
- 8. Deep Freezers**
- 9. Coolers (provide by Coke)**
- 10. Cash Register**
- 11. (Quad) Ice Maker**

FINANCIAL RETURN

I am providing you with an overview of my new business venture, WWRD Concessions LLC. I am excited to embark on this journey with the generous support and contributions of Mrs. Candie Carpenter, who has gifted me all the necessary concession stand equipment to get started.

I am starting this business with an initial investment of \$30,000 and have carefully planned to allocate resources effectively to ensure a strong foundation for success. Additionally, I am committed to giving back 25% of my profits after taxes as a way to invest in the community and contribute to causes that align with our values.

As for WWRD concessions we will use a spread sheet to document each location an event.

Financial Projections:

- **Year 1:** \$40,990.74
- **Year 2:** \$53,239.36
- **Year 3:** \$70,000.00

RESOLUTION NO. 3679

AGENDA MEMORANDUM

EAST RIDGE ANIMAL SHELTER
FENCING Change Order No. 1

Submitted By:


J/Scott Miller, City Manager

SUBJECT:

At the regular business meeting of March 13, 2025 the City Council awarded the bid for the sound attenuation design-build project for the East Ridge Animal Shelter to the Input Group in the amount of \$192,770.32. The work entails the installation of acoustical tiles on the inside walls and ceiling of the dog kennels; a sound system integration; and the installation of an outside sound barrier wall extending 15 feet in height.

My office has been notified by the Input Group that they have been subjected to an \$8,000 tariff for the fence materials, and thus, they are proposing to pass this cost onto the City.

Your approval please.

Attachments

JSM/

RESOLUTION NO. 3679

**A RESOLUTION OF THE CITY COUNCIL OF THE
CITY OF EAST RIDGE, TENNESSEE, AUTHORIZING
THE CITY MANAGER TO APPROVE CHANGE
ORDER REQUEST NO. 1 FROM INPUT GROUP FOR
THE SOUND ATTENUATION SYSTEM AT THE EAST
RIDGE ANIMAL SHELTER**

WHEREAS, the City Council at the March 13, 2025 regular business meeting awarded the bid for a sound attenuation system at the East Ridge Animal Shelter in the amount of \$192,770.32 to Input Group; and

WHEREAS, the sound attenuation system entails the installation of acoustic tiles on the inside walls and ceiling of the dog kennels, a sound system integration, and the installation of an outside sound barrier wall extending fifteen (15) feet in height; and

WHEREAS, Input Group is subjected to a tariff for the sound barrier wall materials and is requesting a change order in the amount of \$8,000.00 to cover the tariff.

NOW, THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF EAST RIDGE, TENNESSEE, that the change order for the sound attenuation system at the East Ridge Animal Shelter be approved to Input Group in the amount of \$8,000.00.

BE IT FURTHER RESOLVED that this resolution shall take effect immediately after its passage, the public welfare of the City requiring it.

Adopted this _____ day of _____ 2025.

Brian W. Williams, Mayor

ATTEST:

J. Scott Miller, City Manager

APPROVED AS TO FORM:

Mark W. Litchford, City Attorney

Scott J. Miller

From: Nehemiah Daves <NehemiahD@INPUTGROUPLLC.COM>
Sent: Tuesday, April 15, 2025 10:49 AM
To: Scott J. Miller
Cc: Wesley Leon
Subject: Re: Animal Shelter Documents
Attachments: Invoice 1205 - East Ridge Animal Shelter.pdf

CAUTION: This email originated from outside the organization and may contain unverified links. Do not click on links or open attachments unless you recognize the sender and know the content is safe.

Hi Scott,

Attached is the updated invoice. As of today, 4/15/2025, the only price increase due to tariffs is for the fence material. It increased \$8,000. A note has been made on that line item on the invoice. Once payment is received and processed, we will order all of the materials. If any other unforeseen tariff related costs arise, we will let you know.

Sincerely,



Nehemiah Daves
Co-Owner
Phone: [423-227-9111](tel:423-227-9111)
Email: nehemiahd@inputgroupllc.com

From: Nehemiah Daves
Sent: Tuesday, April 8, 2025 11:18 PM
To: Scott J. Miller
Cc: Wesley Leon
Subject: Animal Shelter Documents

Hi Scott,

Attached is the signed contract, performance bond and invoice. Let us know if you need anything else from us at this stage.

INVOICE

Input Group LLC
175 Banberry Dr SW
Mc Donald, TN 37353

sales@inputgroupllc.com
+1 (423) 227-9111
www.inputgroupllc.com



Bill to
Scott Miller
City of East Ridge
1517 Tombras Avenue
East Ridge, TN 37412 US

Invoice details

Invoice no.: 1205
Terms: Net 15
Invoice date: 04/15/2025
Due date: 04/30/2025

#	Product or service	Description	Qty	Rate	Amount
1.	Acoustic Baffles	For indoor kennel areas	1	\$9,516.33	\$9,516.33
2.	Acoustic panels for inside walls	For indoor kennel areas	1	\$7,038.24	\$7,038.24
3.	Electrical	For indoor kennel areas	1	\$14,500.00	\$14,500.00
4.	Materials & Hardware	For indoor kennel areas	1	\$8,414.00	\$8,414.00
5.	Shipping	For indoor kennel areas	1	\$5,200.00	\$5,200.00
6.	Labor	For indoor kennel areas	1	\$17,400.00	\$17,400.00
7.	Sound System	Sound system for indoor kennel areas	1	\$4,061.40	\$4,061.40
8.	Materials & Hardware	Sound system for indoor kennel areas	1	\$1,935.60	\$1,935.60
9.	Shipping	Sound system for indoor kennel areas	1	\$500.00	\$500.00
10.	Labor	Sound system for indoor kennel areas	1	\$3,263.00	\$3,263.00
11.	Wall Structure	Sound barrier wall	1	\$61,950.00	\$61,950.00
12.	Sound Barrier Material	Sound barrier wall *Due to tariffs, there was an \$8,000 increase in material cost	1	\$30,625.75	\$30,625.75
13.	Materials & Hardware	Sound barrier wall	1	\$12,366.00	\$12,366.00

14. Shipping	Sound barrier wall	1	\$4,500.00	\$4,500.00
15. Labor	Sound barrier wall	1	\$19,500.00	\$19,500.00

Total **\$200,770.32**


Note to customer

\$100,770.43 deposit is due upfront with the remaining balance due at completion of project.

RESOLUTION NO. 3680

**AGENDA MEMORANDUM
N MACK SMITH ROAD WIDENING PROJECT
Change Order No. 2 & 3**

Submitted By:


J. Scott Miller, City Manager

SUBJECT:

At the regular business meeting of December 14, 2023, the City Council awarded the bid for the North Mack Smith Road Widening Project to Adams Contracting, LLC in the amount of \$2,335,643. The project entails the following:

- Widen N Mack Smith Road from Ringgold Road to Slater Road to 5 lanes;
- Widen N Mack Smith Road from Slater Road to the north property line of the Fairfield Inn and Suites to 4 lanes with 2 landscape medians;
- Build a 2-lane roadway on N Mack Smith Road from the south property line of the Budgetel to the north property line of the Budgetel; and
- Construct a drainage system along the east side of N Mack Smith Road from the north property line of the Budgetel to Ringgold Road.

Adams Contracting has brought to the attention of ASA Engineering, construction inspection engineers for this road project, necessary modifications to the drainage system. These change orders are explained in more detail in the attached email dated April 17, 2025 from Shane Fletcher, ASA, to Jason Rogers, Adams; a copy attached hereto. Said change orders nos. 2 & 3 are costed out in the ASA engineering check sheet; a copy attached hereto. The total cost of the change order is \$22,141.63.

Attachments

JSM/

RESOLUTION NO. 3680

**A RESOLUTION OF THE CITY COUNCIL OF
THE CITY OF EAST RIDGE, TENNESSEE,
AUTHORIZING THE CITY MANAGER TO
APPROVE CHANGE ORDER REQUEST NO. 2
AND CHANGE ORDER REQUEST NO. 3 FOR
THE NORTH MACK SMITH ROAD WIDENING
AND IMPROVEMENTS PROJECT FOR
NECESSARY MODIFICATIONS TO THE
DRAINAGE SYSTEM**

WHEREAS, the City Council at the December 14, 2023 regular business meeting awarded the bid for the North Mack Smith Road Widening and Improvements Project in the amount of \$2,335,643.00 to Adams Contracting, LLC; and

WHEREAS, Adams Contracting, LLC brought to the attention of ASA Engineering, construction inspection engineers for the project, necessary modifications to the drainage system as described in attached Change Order No. 2 and Change Order No. 3; and

WHEREAS, the total cost associated with the attached Change Orders is \$22,141.63.

NOW, THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF EAST RIDGE, TENNESSEE, that Change Order No. 2 and Change Order No. 3 for the North Mack Smith Road Widening and Improvements Project be approved in the amount of \$22,141.63.

BE IT FURTHER RESOLVED that this resolution shall take effect immediately after its passage, the public welfare of the City requiring it.

Adopted this _____ day of _____ 2025.

Brian W. Williams, Mayor

ATTEST:

J. Scott Miller, City Manager

APPROVED AS TO FORM:

Mark W. Litchford, City Attorney

Asa Engineering check Sheet

Checked Shane Fletcher

Change Order 2

Mack Smith Rd Modifications SWPPP

Pay Item	QTY	UNIT	UNIT PRICE	TOTAL PRICE
203-01 Road & Drainage Excavation (UNCLASSIFIED)	15	CY	\$ 45.00	\$ 675.00
209-08.03 Silt Fence	42	LF	\$ 3.00	\$ 126.00
707-06.03 Removal and Reset Fence	32	LF	\$ 120.00	\$ 3,840.00
709-05.05 Machined Rip Rap (Class A-3)	25	TN	\$ 90.00	\$ 2,250.00
740-10.03 Geotextile (Type III) (Erosion Control)	50	SY	\$ 4.71	\$ 235.50
			\$	\$
		TOTAL	\$	\$ 7,126.50

Change Order 3

Adams Contracting Worksheet

Tic in Drains at Station 59+38.50 and Removal of Two Headwalls
Place and Modify City Supplied Manhole Additional 18" / 24" RCP

MATERIALS	QTY	UNIT	UNIT PRICE	TOTAL PRICE
24" RCP	16	LF	\$ 44.48	\$ 711.68
18" RCP	8	LF	\$ 30.19	\$ 241.52
Misc Materials	1	LS	\$ 75.00	\$ 75.00
Concrete 8" SCH 40 Pipe (21 ft Min)	3	LF	\$ 224.00	\$ 672.00
Flowable Fill	21	CY	\$ 48.61	\$ 1,020.81
57 Stone	3	CY	\$ 176.00	\$ 528.00
Grabc D Base Pug	5	TN	\$ 35.13	\$ 175.65
EJ V4074 Frame	5	TN	\$ 33.15	\$ 165.75
EJ V4074 Grate	1	EA	\$ 439.20	\$ 439.20
	1	EA	\$ 424.80	\$ 424.80
			\$	\$
			\$	\$
			\$	\$
SUBTOTAL			\$	\$ 4,454.41
SALES TAX			\$	\$ 434.30
TOTAL			\$	\$ 4,888.71

Asa Engineering check Sheet

Checked Share Fletcher

	UNIT	QUANTITY	BASE RATE	TOTAL LABOR	OVERTIME FACTOR	
					10%	LABOR BURDEN (45%)
LABOR						
FOREMAN	HR	24.00	\$ 55.00	\$ 1,320.00	\$ -	\$ 594.00
CLASS A OPERATOR	HR	24.00	\$ 30.00	\$ 720.00	\$ 72.00	\$ 356.40
UNSKILLED LABORER	HR	24.00	\$ 23.00	\$ 552.00	\$ 55.20	\$ 273.24
SKILLED LABORER	HR	24.00	\$ 25.00	\$ 600.00	\$ 60.00	\$ 297.00
			\$	\$ 3,192.00	\$ 187.20	\$ 1,520.64
EQUIPMENT						
John Deere 325G	HR	12.00	\$ 59.13	\$	\$ 59.13	\$ 709.56
John Deere 200G	HR	12.00	\$ 89.86	\$	\$ 89.86	\$ 1,078.32
Dump Truck	HR	5.00	\$ 63.88	\$	\$ 63.88	\$ 319.40
Hammer Drill	HR	5.00	\$ 37.85	\$	\$ 37.85	\$ 189.25
2024 RAM 2500 Larime Diesel	HR	12.00	\$ 48.16	\$	\$ 48.16	\$ 577.92
2024 Gator Trailer 23'	HR	12.00	\$ 25.62	\$	\$ 25.62	\$ 307.44
						\$ 3,181.89

LABOR COST	TOTAL COST	MARKUP	TOTAL PRICE
BURDEN COST	\$ 3,379.20	15%	\$ 3,886.08
EQUIPMENT COST	\$ 1,520.64	0%	\$ 1,520.64
MATERIALS COST	\$ 3,181.89	15%	\$ 3,659.17
SUBCONTRACTORS COST	\$ 4,888.71	15%	\$ 5,622.02
		5%	\$ -
	SUBTOTAL 2		\$ 14,687.92

SUBTOTAL 1	\$ 7,126.50	
SUBTOTAL 2	\$ 14,687.92	
BOND INCREASE	\$ 327.22	lump sum
COMBINED TOTAL	\$ 22,141.63	
TOTAL PRICE		

From: Shane Fletcher <sfletcher@asaengineeringinc.com>

Sent: Thursday, April 17, 2025 9:46 PM

To: Jason Rogers <jrogers@adamscontractingky.com>; George Mitchell <george@adamscontractingky.com>

Cc: Jeffrey Sikes <jsikes@asaengineeringinc.com>; Rachel Tranel <rtranel@asaengineeringinc.com>

Subject: Existing Drainage Pipes and new Structure

Jason,

Please find the attached drawing that outlines the required modifications to the existing pipes adjacent to CB-36 Station 59+20 Lt.

1. There is a 15" pipe coming from an existing area drain in the retirement home parking lot that is no longer in use. This line was not shown as being connected to our new system, but in order to prevent water from ponding in that lot, we need to tie it into our new 24" pipe. After speaking with our engineer, she asked that we connected to our system. I then discussed this with Woody in the field, about the installation of a short section of SDR 26 8" pipe would be sufficient to drain the existing 15" line. Or equivalent pipe due to it being in the roadway.

I understand there is no pay item for this scope, so please provide a cost to perform this work.

2. Additionally, there are two existing headwalls shown in the plans that have been removed. The area between them was cleaned out during excavation for the proposed pipe. We now need to connect the existing 33" x 24" ellipse pipe to the existing 18" RCP located to the north. The City of East Ridge has a structure available from a previous project that we can use. There will be a need to install a inlet frame that will need to be purchased. Please provide a cost to install this structure. Payment for pipe collar shall be included in the price Bid for the pipe. This is noted in the TDOT Detail attached (Note J).

After speaking with Woody, it sounds like we can complete this connection using a section of 24" RCP and a few sections 18" RCP, joined with concrete collars to the existing pipes.

Let me know if you need any further clarification.

Thanks

Shane Fletcher

Construction Manager

Asa Engineering & Consulting, Inc.

Chattanooga Office (Home Office)

201 Cherokee Blvd

Chattanooga, TN 37405

O: 423.805.3700

C: 423.582.9543

AGENDA MEMORANDUM
CARE-A-VAN SERVICE

April 24, 2025

Submitted By:


J. Scott Miller, City Manager

SUBJECT:

The Care-A-Van provides services for the senior citizens and the disabled. These individuals use this service for trips to medical/dental appointments and treatment, general, shopping (pharmacy and grocery stores), dialysis treatment, employment (jobs), and entertainment. For further details please see Exhibit B attached hereto.

I reported to the Mayor and City Council via email dated April 8, 2025 that City Staff (Amanda Bowers and I) met with representatives of CARTA (Charles Frazier, CEO, and several of his staff members – grants, operations, and finance) on April 8, 2025 at their headquarters on Wilcox in reference to the Care-A-Van service that the City and CARTA has been participating in since 2018; specifically, regarding the significant increases in the cost of trips over the past year. A history of the cost per trip is as follows:

- 2018 to August of 2024 the per trip charge was \$10 per trip one-way (City \$7.50 and Passenger \$2.50) and \$20 round trip (City \$15 and Passenger \$5).
- August 8, 2024 to present the per trip charge was elevated to \$20 per trip one-way (City \$17.50 and Passenger \$2.50) and \$40 round trip (City \$35 and Passenger \$5).
- Any Time soon the per trip charge will be increased to \$47 per trip one-way (City \$47 and Passenger \$4) and \$94 round trip (City \$94 and Passenger \$4).

Please see Exhibit A attached hereto for further details.

CARTA is now in the position where it needs to increase the charge per trip to cover their true costs of operating this service. The actual cost of operation equates to \$53.45 per one-way trip. Mr. Frazier explained that the primary reasons for the substantial increase in the charges are as follows: Hamilton County did not appropriate funds to CARTA in 2025 (loss of \$100,000); the ARPA funds sunsetted; the grant funds CARTA received and utilized for this service became depleted; and the annual increase in operating expenses and supplies.

With approximately 3300 annual trips per year (per CARTA data) times the \$47 charge per trip, the total would come to an annual amount of \$155,100. Should Hamilton County appropriate funds to CARTA in their 2025-2026 budget and/or CARTA is successful in obtaining an operational grant(s) there is a good chance that the Care-A-Van service would be subsidized by CARTA and the cost per trip could be reduced.

There are initiatives that CARTA noted at the meeting on April 8th that could be implemented by the City that could decrease the City's annual appropriation of the Care-A-Van service, as follows: allow only the service to passengers for essential trips as medical, dialysis, and pharmacy; cap the number of trips per day, or per month, that would be allowed; set a monthly upset cost and once reached service is cut-off; increase the passenger charge to \$10-\$15 per trip; and place a limit on trips out of the City of East Ridge corporate limits.

I need direction from the City Council on the degree of Care-A-Van services you want to provide our seniors and disabled for budgetary purposes.

Attachments

JSM/

Care-a-Van East Ridge Analysis
For the Year Ended June 30, 2024 and the Eight Months Ended February 28, 2025

	Year Ended June 30, 2024	Eight Months Ended February 28, 2025	
East Ridge Historical Data			
East Ridge Trips	3,234	2,149	
Unique riders	61	45	
Percentage of rides by the top 10 riders	69%	72%	
Total paid by East Ridge	\$ 24,255	\$ 35,428	
Amount charged per trip	\$ 7.50	\$ 17.50	See Note 1
CARTA Care-a-Van Historical Data			
Total Revenue	\$ 934,522	\$ 1,535,829	Note 2 and Note 3
Wages	2,731,329	2,621,364	Annualized for 2025
Fuel	195,747	168,689	Annualized for 2025
Admin	131,976	156,021	Annualized for 2025
Maintenance	135,959	116,667	Annualized for 2025
Other	45,973	32,736	Annualized for 2025
Utilities	341	3,132	Annualized for 2025
Care-a-Van costs excluding depreciation	\$ 3,250,138	\$ 3,098,609	Annualized for 2026
Number of trips	58,983	38,645	
Average cost per trip	\$ 55.10	\$ 53.45	
East Ridge trips as percentage of total	5%	6%	
East Ridge charges as percent of total revenue	3%	2%	

Note 1 - The table above states that the amount charged per trip was \$17.50 for the eight months ended February 28, 2025. It was \$7.50 in July 2024, and \$17.50 for all months thereafter.

Note 2 -- The increase in revenue in 2025 over 2024 is due to \$596,000 of ADA funds received in 2025 for fiscal year 2024.

Note 3 -- Reflects the discontinuance of \$100,000 per year of funding from Hamilton County.

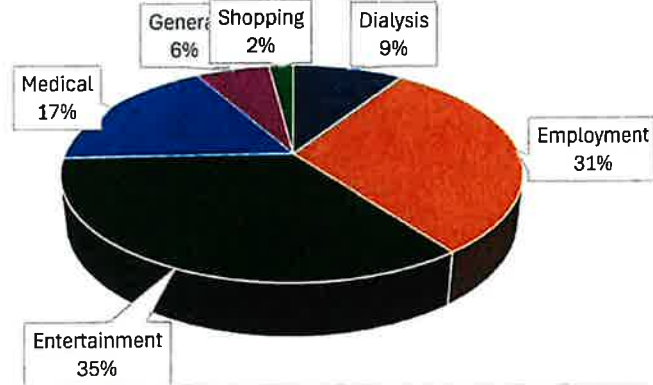
East Ridge

Cost per

Date	Trips	Trip	Total
7/1/2022	98	\$7.50	\$735.00
8/1/2022	136	\$7.50	\$1,020.00
9/1/2022	163	\$7.50	\$1,222.50
10/1/2022	155	\$7.50	\$1,162.50
11/1/2022	154	\$7.50	\$1,155.00
12/1/2022	145	\$7.50	\$1,087.50
1/1/2023	136	\$7.50	\$1,020.00
2/1/2023	148	\$7.50	\$1,110.00
3/1/2023	173	\$7.50	\$1,297.50
4/1/2023	161	\$7.50	\$1,207.50
5/1/2023	219	\$7.50	\$1,642.50
6/1/2023	214	\$7.50	\$1,605.00

Trips FY 2023 Total Billed
1902 \$14,265.00

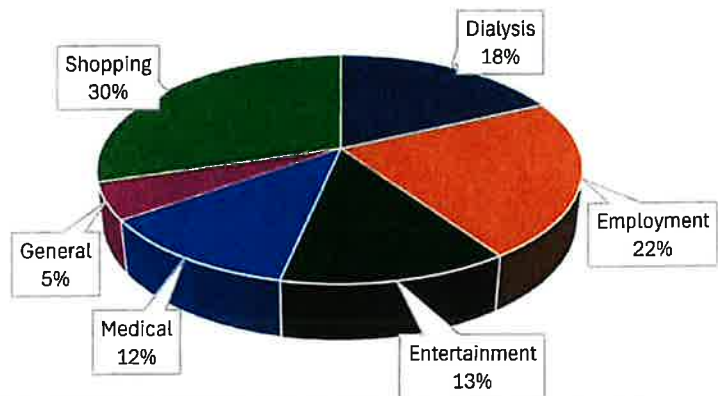
Trip Purpose FY 23



7/1/2023	210	\$7.50	\$1,575.00
8/1/2023	305	\$7.50	\$2,287.50
9/1/2023	245	\$7.50	\$1,837.50
10/1/2023	257	\$7.50	\$1,927.50
11/1/2023	245	\$7.50	\$1,837.50
12/1/2023	179	\$7.50	\$1,342.50
1/1/2024	265	\$7.50	\$1,987.50
2/1/2024	333	\$7.50	\$2,497.50
3/1/2024	287	\$7.50	\$2,152.50
4/1/2024	384	\$7.50	\$2,880.00
5/1/2024	304	\$7.50	\$2,280.00
6/1/2024	220	\$7.50	\$1,650.00

Trips FY 2024 Total Billed
3234 \$24,255.00

Trip Purpose FY 24

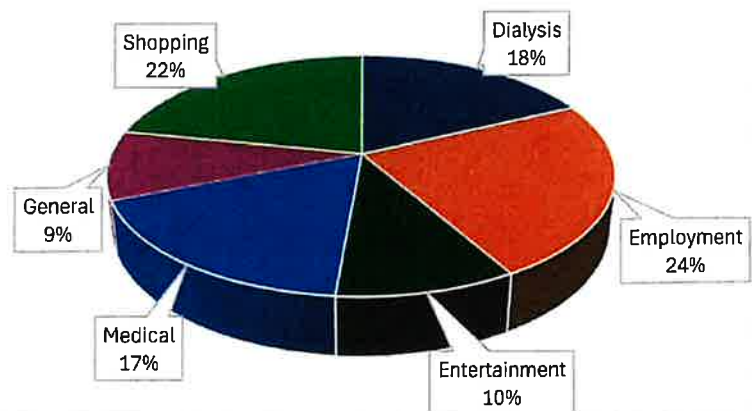


7/1/2024	218	\$7.50	\$1,635.00
8/1/2024	278	\$17.50	\$4,865.00
9/1/2024	295	\$17.50	\$5,162.50
10/1/2024	339	\$17.50	\$5,932.50
11/1/2024	286	\$17.50	\$5,005.00
12/1/2024	245	\$17.50	\$4,287.50
1/1/2025	239	\$17.50	\$4,182.50
2/1/2025	249	\$17.50	\$4,357.50
3/1/2025	205	\$17.50	\$3,587.50

Pending

Trips FY 2025 Total Billed
2354 \$39,015.00

Trip Purpose FY 25



CARTA CARE-A-VAN PROGRAM

TRIP TOTALS

MONTHS	FY 18	FY 19	FY 20	FY 21	FY 22	FY 23	FY 24	FY 25
July	0	101	100	114	162	98	210	218
August	0	119	78	138	130	136	305	278
September	28	127	103	185	73	163	245	295
October	46	150	158	196	110	155	257	339
November	79	102	131	187	98	154	245	286
December	132	72	204	185	80	145	179	245
January	153	82	168	200	84	136	265	239
February	107	85	169	182	75	148	333	249
March	102	96	154	181	67	173	287	205
April	76	117	154	202	60	161	384	
May	114	95	172	179	85	219	304	
June	95	74	131	179	76	214	220	
TOTALS	932	1220	1782	2128	1100	1902	3234	2354

Average/Mo 93.2 101.67 148.5 177.33 91.67 158.5 269.5

Inc/Dec N/A 24 46.83 28.83 -85.66 66.83 111

COST TOTALS (\$7.50/per trip)

MONTHS	FY 18	FY 19	FY 20	FY 21	FY 22	FY 23	FY 24	FY 25
July	\$ -	\$ 757.50	\$ 750.00	\$ 855.00	\$ 1,215.00	\$ 735.00	\$ 1,575.00	\$ 3,815.00
August	\$ -	\$ 892.50	\$ 585.00	\$ 1,035.00	\$ 975.00	\$ 1,020.00	\$ 5,337.50	\$ 4,865.00
September	\$ 210.00	\$ 952.50	\$ 772.50	\$ 1,387.50	\$ 547.50	\$ 1,222.50	\$ 4,287.50	\$ 5,162.50
October	\$ 345.00	\$ 1,125.00	\$ 1,185.00	\$ 1,470.00	\$ 825.00	\$ 1,162.50	\$ 4,497.50	\$ 5,932.50
November	\$ 592.50	\$ 765.00	\$ 1,432.50	\$ 1,402.50	\$ 735.00	\$ 1,155.00	\$ 4,287.50	\$ 5,005.00
December	\$ 990.00	\$ 540.00	\$ 1,530.00	\$ 1,387.50	\$ 600.00	\$ 1,087.50	\$ 3,132.50	\$ 4,287.50
January	\$ 1,147.50	\$ 615.00	\$ 1,260.00	\$ 1,500.00	\$ 630.00	\$ 1,020.00	\$ 4,657.50	\$ 4,182.50
February	\$ 802.50	\$ 637.50	\$ 1,267.50	\$ 1,365.00	\$ 562.50	\$ 1,110.00	\$ 5,827.50	\$ 4,357.50
March	\$ 765.00	\$ 720.00	\$ 1,155.00	\$ 1,357.50	\$ 502.50	\$ 1,297.50	\$ 5,022.50	\$ 3,587.50
April	\$ 570.00	\$ 877.50	\$ 1,155.00	\$ 1,515.00	\$ 450.00	\$ 1,207.50	\$ 6,720.00	\$ -
May	\$ 855.00	\$ 712.50	\$ 1,290.00	\$ 1,342.50	\$ 637.50	\$ 1,642.50	\$ 5,320.00	\$ -
June	\$ 712.50	\$ 555.00	\$ 982.50	\$ 1,342.50	\$ 570.00	\$ 1,605.00	\$ 3,850.00	\$ -
TOTALS	\$ 6,990.00	\$ 9,150.00	\$ 13,365.00	\$ 15,960.00	\$ 8,250.00	\$ 8,250.00	\$ 54,495.00	\$ 41,195.00

Inc/Dec N/A \$ 2,160.00 \$ 4,215.00 \$ 2,595.00 \$ (7,710.00) \$ 6,015.00 \$ 9,990.00

TOTAL SPENT FY 2018 - FY 2024 (7 Years) = \$12,940.71

Average Per Year \$2,350.71

Average Increase Per Year

USER TOTALS

MONTHS	FY 18	FY 19	FY 20	FY 21	FY 22	FY 23	FY 24	FY 25
July	0	14	9	15	16	15	18	30
August	0	14	12	16	16	15	22	25
September	1	16	16	14	9	16	20	26
October	5	16	16	16	13	15	22	26
November	11	14	15	15	12	14	19	23
December	11	10	15	12	10	13	15	25
January	10	8	15	15	11	13	25	21
February	13	9	17	14	11	16	27	22
March	10	10	18	16	9	17	29	
April	9	12	11	19	13	20	27	
May	12	14	15	21	13	20	26	
June	11	11	15	16	14	13	23	
TOTALS	93	148	173	189	147	187	273	198

Average/Mo 7.75 12.33 14.42 15.75 12.25 15.58 22.75

Inc/Dec N/A 4.58 2.09 1.33 -3.5 3.33 7.17

NEW USERS (per month)

MONTHS	FY 18	FY 19	FY 20	FY 21	FY 22	FY 23	FY 24	FY 25
July	0	0	1	0	3	2	0	3
August	0	5	3	0	0	1	1	0
September	1	2	3	4	0	3	2	2
October	4	1	2	1	1	1	2	2
November	10	3	1	1	0	1	1	0
December	2	0	2	0	1	2	1	1
January	1	0	1	0	2	0	7	
February	3	1	4	2	2	1	3	
March	1	0	3	1	1	1	5	
April	1	1	0	2	2	2	4	
May	2	4	0	2	1	0	4	
June	3	1	1	0	2	0	2	
TOTALS	28	18	21	13	15	14	32	8

Average/Mo 2.3 1.5 1.75 1.08 1.25 1.17 2.67

RESOLUTION NO. 3681

AGENDA MEMORANDUM

**APPROVAL TO ACCEPT THE HOMELAND SECURITY GRANT FROM HAMILTON
COUNTY FOR BALLISTIC VESTS**

May 8, 2025

Submitted by:

A handwritten signature in black ink, appearing to read "Michael Williams".

Michael Williams, Fire Chief

SUBJECT:

I am requesting that the Mayor and Councilmembers approve to accept the Homeland Security Grant from Hamilton County. This grant is to provide firefighters across Hamilton County fire departments with Ballistic Vests for active shooter situations.

East Ridge firefighters will receive 12 Ballistic vests to be placed on all first out response vehicles at no cost to the City of East Ridge.